

**General Notes (NCC 2019 BCA Vol 2)**

1. All materials and work practices shall comply with, but not limited to the Building Regulations 2018, National Construction Code Series 2019 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.
2. Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2019 Building Code of Australia Volume 2.
3. All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.
4. Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with:
  - BCA Part 3.6 for Class 1 and 10 Buildings within a design wind speed of not more than N3; and
  - BCA Vol 1 Part B1.4 for Class 2 and 9 Buildings.
5. Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Domestic Wet Areas.
6. These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.
7. Step sizes (other than for spiral stairs) to be:
  - > Risers (R) 190mm maximum and 115mm minimum
  - > Going (G) 355mm maximum and 240mm minimum
  - > 2R + 1G = 700mm maximum and 550mm minimum
  - > with less than 125mm gap between open treads.
8. All treads, landings and the like to have a slip-resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
9. Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tensioned wire barriers) to be:
  - > 1000mm min. above finished surface level of balconies, landings or the like, and
  - > 865mm min. above finished surface level of stair nosing or ramp, and
  - > vertical with less than 125mm gap between, and
  - > any horizontal element within the barrier between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.
  - > Wire barrier construction to comply with NCC 2019 BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2019 BCA Volume 1 Part D2.1.6 for other Classes of Buildings.
10. Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps

1. Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.
 

Where the building (excludes a detached Class 10) is located in a termite prone area the building is to be provided with a termite management system.
2. Concrete stumps:
  - > up to 1400mm long to be 100mm x 100mm (1 No. H.D. Wire)
  - > 1401mm to 1800mm long to be 100mm x 100mm (2 No. H.D. Wires)
  - > 1801mm to 3000mm long to be 125mm x 125mm (2 No. H.D. Wires)
  - > 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.
3. Buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS 4773.1-2015 'Masonry in small buildings' Part 1: Design.
4. All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.
5. These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/ details and with any other written instructions issued in the course of the contract.
6. Site plan measurements in metres - all other measurements in millimetres unless noted otherwise.
7. Figured dimensions take precedence over scaled dimensions.
8. The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
9. The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.
20. Installation of all services shall comply with the respective supply authority requirements.
21. The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/ or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
22. These plans have been prepared for the exclusive use by the Client of [Insert Drafting Service] ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.
23. A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.
24. The Client and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of [building

- designer's name] except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to [building designer's name].
25. The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.
  26. STORMWATER 100 mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction.
    - > The cover to underground stormwater drains shall be not less than
    - > 100mm under soil
    - ! 50mm under paved or concrete areas
    - ! 100mm under unreinforced concrete or paved driveways
    - ! 75mm under reinforced concrete driveways
  27. SITE ENVIRONMENT DESIGN INFORMATION (if applicable)
    - > Site Bushfire Attack Assessment (simplified method)
      - i. Reference document 'AS 3959-2009 construction of buildings in bush fire prone areas'
      - ii. Relevant Fire Danger Index (FDI)-
      - iii. Predominate vegetation:- Classification
      - iv. Type
      - v. Distance of site from predominate vegetation-
      - vi. Effective slope of land-
      - vii. Determination of Bushfire attack Level (BAL)-
  28. Site Classification (if Applicable)
    - > Site classification as Class:
    - > Refer to soil report No:
    - > By:
  29. Design Gust Wind Speed / Wind Classification
    - > Building tie-downs to be provided in accordance with AS1684-2010 for an assumed design gust wind speed / wind classification of N1/N2 (subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to AS1684 for construction requirements.
  30. Climate Zone Climate zone for thermal design / thermal performance assessment: Zone 6 # 7
  31. Corrosion protection of built-in structural members
    - > Provide corrosion protection of built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with Table 4.1 of AS4773.1-2015 Masonry in Small Buildings, Part 1: Design suitable for an Environment Classification of [Insert environment classification]
  32. Corrosion protection for sheet roofing
  33. Provide corrosion protection for sheet roofing in accordance with BCA Table 3.5.1.

**34. ENERGY RATING:**

THERMAL INSULATION TO BE PROVIDED AS FOLLOWS:

SEE 6 STAR REQUIREMENTS/NOTES OR ENERGY EFFICIENCY REPORT

35. Compliance with AS3700 and AS4773 -2018

36. Pliable Building Membrane to comply with AS4200.1, AS4200.2 and Clause 3.8.7.2,

37. Flashing to comply with Clause 3.5.2.3

38. Tiles to overhang the fascia/tiling batten by not less than 35mm

38. Sarking requirements as per Clause 3.5.24 of NCC 2019: ADDITIONALLY, NOMINATE TABLE 3.5.2.2 and the flammability index of not more than 5 for the sarking material

**NOTES:**  
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.  
 WINDOW SIZES SHOWN ARE SUPPLIERS FRAME SIZES.  
 ALL GLAZING TO COMPLY WITH A.S. 1288 & AS 2047 GLASS IN BUILDINGS, & WITH A.S. 4055-1992 FOR WINDLOADING.  
 WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS U.N.O.  
 GARAGE ROOF TO BE TIED DOWN MIN. 1200 INTO BRICKWORK WITH HOOP IRON STRAPS.  
 ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH B.C.A.3.8.3.



T C E J O K P	SHEET CONTENT:		SCALE: AS SHOWN	SHEET NUMBER: 1 OF 8	JOB NUMBER: 0001
	GENERAL NOTES		DATE: 29.03.23	DRAWN: BOH	
PROPERTY ADDRESS: HOUSE - 6 LOT 20110 LASIO WAY, DONNYBROOK, VIC, 3064.		ISSUE:	DATE:	DETAILS:	INITIALS:
CLIENT: XXX		A	29.03.23	WORKING DRAWING	BOH
		B	06.04.23	WORKING DRAWING REV-1	BOH
		C	16.06.23	WORKING DRAWING REV-2	BOH
WORKING DRAWING					

**NOTE:**  
ROOF DESIGN SHOWN FOR GUIDE PURPOSES ONLY, SEE THE ROOF MANUFACTURER'S DRAWINGS FOR EXACT DESIGN.

**NOTE:**  
SIDE REAR # WING FENCE TO BE CONSTRUCTED AS PER DEVELOPER'S GUIDELINES REQUIREMENTS # COMPLETED BY BUILDER

**NOTE:**  
DRIVE WAY TO BE GRADED TO ENSURE MAXIMUM 1:6 GRADIENT FROM CROSSOVER TO GARAGE FLOOR.

**TERMITE NOTE:**  
A TERMITE BARRIER TO BE INSTALLED TO MINIMISE THE RISK OF TERMITE ATTACK TO PRIMARY BUILDING ELEMENTS IN ACCORDANCE WITH AS3660.1 A DURABLE NOTICE MUST BE PERMANENTLY FIXED TO THE BUILDING IN PERMANENT LOCATION, INDICATING THE FOLLOWING:  

- THE METHOD OF TERMITE RISK MANAGEMENT
- THE DATE OF INSTALLATION OF THE SYSTEM
- WHERE CHEMICAL BARRIER IS USED ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL REGISTRATION AUTHORITY LABEL
- THE INSTALLER'S OR MANUFACTURER'S RECOMMENDATIONS FOR THE SCOPE # FREQUENCY OF FUTURE INSPECTIONS FOR TERMITE ACTIVITY.

**NOTE:**  
RECYCLED WATER TO BE CONNECTED AND INSTALLED IN ACCORDANCE WITH THE RECYCLED WATER PLUMBING GUIDE, ISSUED BY THE PLUMBING COMMISSION.  
**AS/NZS 3500 Plumbing Regulations.**  
 RECYCLED WATER MUST BE CONNECTED TO THE DWELLING AS PER DEVELOPER'S GUIDELINES:  
 - RECYCLED WATER RUN IN  
 - CONNECTION OF RECYCLED WATER TO ALL APPLICABLE TOILET SUITES  
 - 1 X RECYCLED WATER TAP TO REAR OF DWELLING  
 - 1 X RECYCLED WATER CONNECTION TO LAUNDRY

**NATIONAL BROADBAND NETWORKCO:**  
THIS IS A FIBRE OPTIC ESTATE: BROADBAND LEAD -IN CONDUIT IN ACCORDANCE WITH NBN CO.REQUIREMENTS.  
**SOIL CLASSIFICATION : "P"**  
 JOB NO : 238651  
 BY : GEOHUB GEOTECHNICAL  
 DATE : 14/06/2023

SITE PARTICULARS	YES	NO
2.0M EASEMENT TO REAR	✓	
ADJOINING PROPERTIES	✓	
CROSSOVER LOCATIONS R/H SIDE		✓
BUILDING ENVELOPE ON PROPERTY		✓
BUSHFIRE CONSTRUCTION PROPERTY	✓	
TERMITE CONSTRUCTION PROPERTY	✓	
ESTATE: KATALIA		



**NOTE:**  
DRAINAGE GUIDE SHOWN IS FOR ROOF DRAINAGE ONLY, ALL SITE DRAINAGE AS PER PLUMBER # BUILDER'S DESIGN. BUILDING SURVEYOR TO CONFIRM.

**NOTE:**  
DRIVEWAY # FRONT PATH TO BE CONSTRUCTED OF EXPOSED AGGREGATE. DRIVEWAY TO BE COMPLETED BY BUILDER # TO COMPLY WITH RELEVANT DESIGN GUIDELINES.

**LANDSCAPING:**  
LANDSCAPING TO COMPLY WITH DEVELOPER GUIDELINES # TO BE COMPLETED BY CLIENT AFTER HANDOVER

**NOTE:**  
SITE SCRAPE BUILDING AREA TO REMOVE EXCESS VEGETATION # PROVIDE LEVEL BUILDING PLATFORM BUILDER TO VERIFY.

**NOTE:**  
SIDE GATE MUST COMPLEMENT THE ARCHITECTURAL CHARACTER OF THE DWELLING # MUST NOT BE HIGHER THAN 1.8M ABOVE THE NATURAL GROUND LEVEL

**LANDSCAPING:**  
LANDSCAPING TO COMPLY WITH DEVELOPER GUIDELINES # TO BE COMPLETED BY CLIENT AFTER HANDOVER.

**NOTE:**  
DRIVE WAY TO BE GRADED TO ENSURE MAXIMUM 1:6 GRADIENT FROM CROSSOVER TO GARAGE FLOOR.

**NOTE:**  
CONCRETE/BUILDER TO MAKE SURE THAT A MIN. 385MM TO BE EXCAVATED BELOW FLOOR LEVEL IN RESIDENCE # GARAGE FOR A WAFFLE SLAB. CHECK ON SITE BEFORE COMMENCING.

**NOTE:**  
VAPOUR PERMEABLE MEMBRANE MUST BE INSTALLED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF A BUILDING IN ACCORDANCE WITH BCA 3.8.7.2

**NOTE:**  
GARAGE EAVES WITHIN 450mm OF THE TITLE BOUNDARY MUST HAVE A 16mm FYR CHEK TO THE UNDERSIDE OF THE EAVE # TO THE SIDE FACEBORD TO ACHIEVE FIRE RATING WITH FRL OF 60/60/60

**LEVELS:**  
ALL LEVEL # FINISHED FLOOR LEVELS AREA TAKEN FROM ENGINEERING PLAN PROVIDED BY THE COUNCIL STORMWATER INFORMATION CERTIFICATE, BUILDER IS TO VERIFY ON SITE ALL LEVELS PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS. NEW LEVELS SHOULD BE DONE TO DETERMINE NEW SITE CONDITIONS

**STORMWATER POINT:**  
STORMWATER POINT TO BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS. STORMWATER LAYOUT AS PER PLUMBER'S # BUILDERS DESIGN # TO BE CONFIRMED ON SITE BY THE PLUMBER # BUILDER.

**NOTE:**  
ALL SURROUNDING SURFACES ARE TO BE GRADED AWAY FROM THE BUILDING TOWARDS A SUITABLE DRAINAGE FACILITY. TO AVOID ANY LOCAL DAMMING OR PONDING BUILDING SURVEYOR IS TO CHECK AND VERIFY THAT NO SERVICES ARE PLACED WITHIN 45 DEGREE OF REPOSE TO PROPERTY FOOTINGS. NEW FOOTINGS ARE NOT UNDERMINE EXISTING FOOTINGS AND ARE TO MATCH THE DEPTH OF THE EXISTING FOOTINGS, WHERE APPROPRIATE.

**NOTE:**  
INSTALL SURFACE SPOON DRAINS AND CUT - OFF DRAINS UP SLOPE OF THE BUILDING SITE TO INTERCEPT AND CHANNEL BOTH RUN - OFF AND SHALLOW GROUNDWATER SEEPAGE AWAY FORM THE SITE CUTS AND FOUNDATIONS. CUT OFF DRAINS SHOULD PENETRATE 50mm BELOW THE UPPER CLAY SURFACE. BUILDER TO BE VERIFY ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.

**NOTE:**  
ALL CUT AND FILL SHOULD BE BATTERED OR RETAINED PROPERLY AS A GENERAL RULE, BATTERS OF 45 DEGREES TO THE HORIZONTAL FOR CLAYS AND 30 DEGREES TO THE HORIZONTAL FOR SANDS SHOULD BE ADOPTED. WHERE THIS IS NOT POSSIBLE OR DESIRED ENGINEER DESIGNED RETAINING WALLS SHOULD BE USED. WHERE SITES ARE PRONE TO LANDSLIPS, A LANDSLIP ASSESSMENT SHOULD BE CARRIED OUT.

**NOTE:**  
COMPLETE ACCURACY OF THIS PLAN IS NOT GUARANTEED. DETAILS SHOWN SHOULD BE CHECKED AND PROVED ON SITE BEFORE ANY WORK IS CARRIED OUT. ALL UTILITY AUTHORITIES SHOULD BE CONTACTED REGARDING THE EXISTENCE OF ANY UNDERGROUND SERVICE ON SITE AND SURROUNDING THE SITE.

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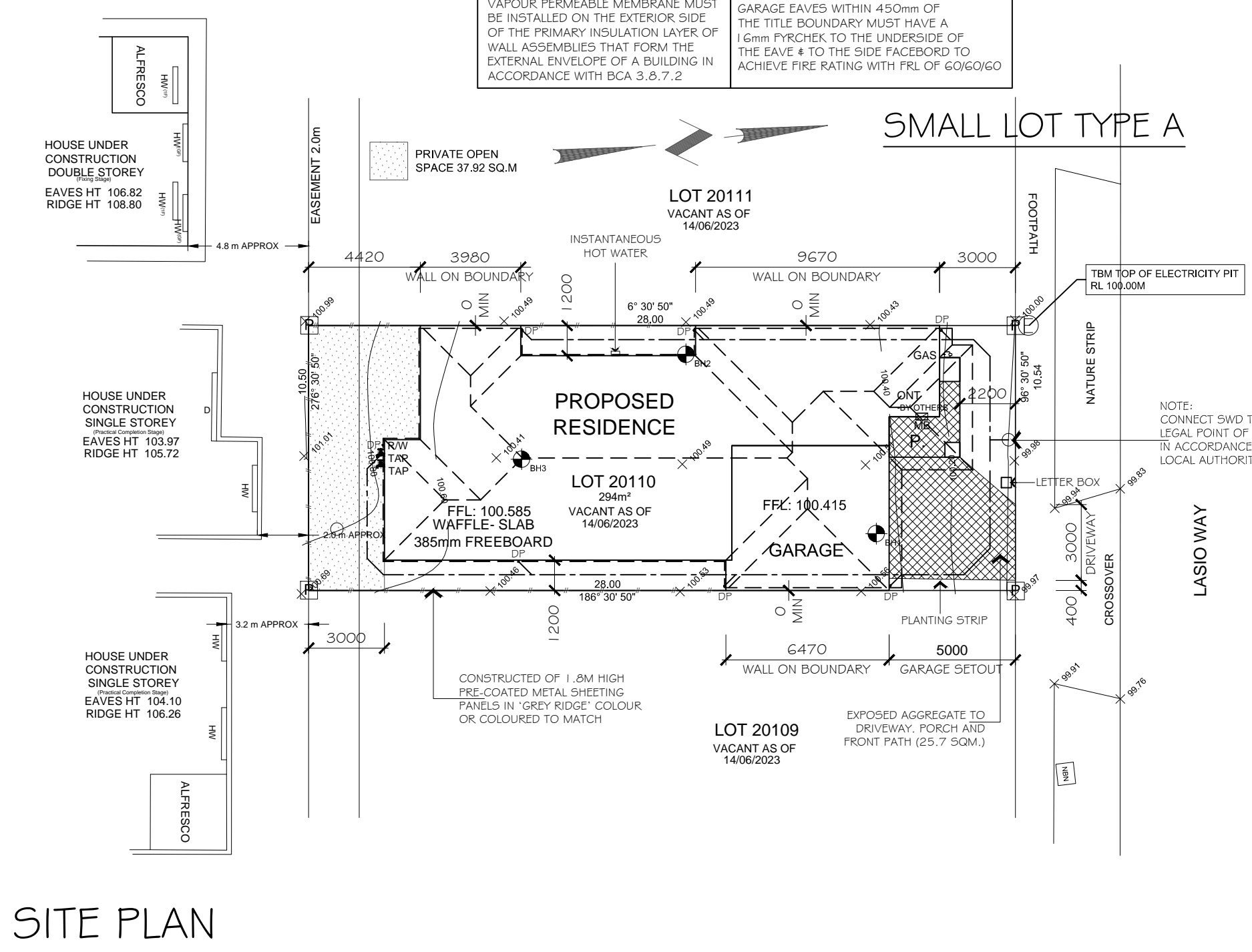
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**NOTES:**  
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**NOTE:**  
ALL SURFACES AROUND THE HOUSE NEEDS TO BE SLOPED AWAY

**NOTE:**  
TEMPORARY DOWN PIPES DURING CONSTRUCTION CONNECTION TO UNDERGROUND STORM WATER SYSTEM.

**NOTE:**  
STORM WATER DRAINAGE SHALL COMPLY WITH AS3500.3-2015

**NOTE:**  
THERE IS NO WALL MOUNTED AIR CONDITIONING UNIT

**NOTE:**  
- ROOF STORMWATER TO BE ACCORDANCE WITH AS 3500  
- 90mm DIA DOWNPIPES

**NOTE:**  
EAVES WITHIN 450mm OF THE ALLOTMENT BOUNDARY MUST ACHIEVE AN FRL OF 60/ 60/ 60

**NOTE:**  
MINIMUM GARDEN AREA OF 25% AS LAND SIZE FALLS B/W 400-500M IN ACCORDANCE WITH REGULATION 76A OF BUILDING 2018.

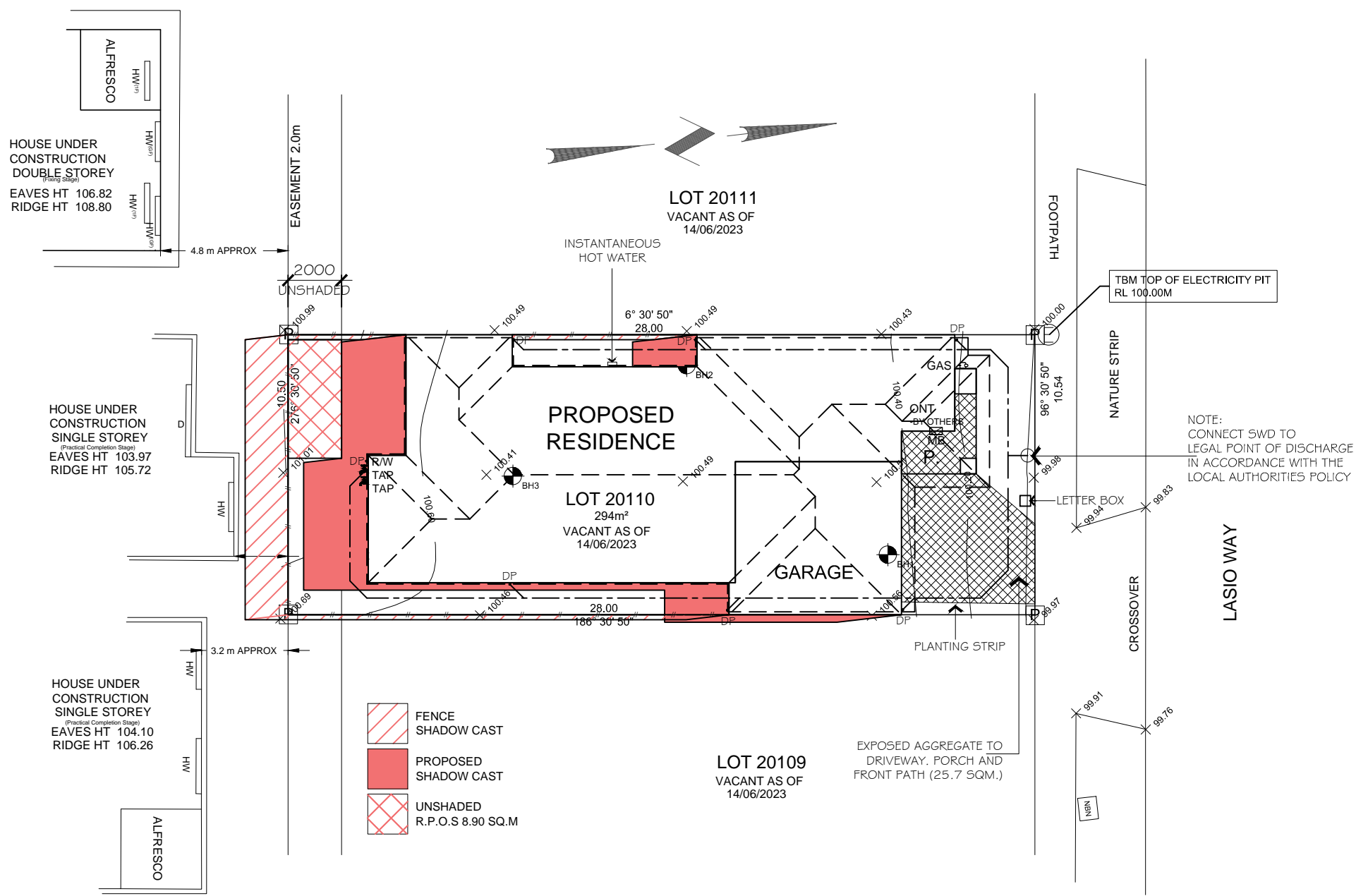
TOTAL HOUSE AREA	
TOTAL HOUSE AREA	192.63 m²
SITE AREA	294 m²
SITE COVERAGE	65.52 %
PAVING	30.00
PERMEABLE COVERAGE	24.28 %



T C L J O R P	SHEET CONTENT: <b>SITE PLAN</b>	
	PROPERTY ADDRESS: HOUSE - 6 LOT 20110 LASIO WAY, DONNYBROOK, VIC, 3064.	
	CLIENT: XXX	
WORKING DRAWING		

SCALE: 1:200		SHEET NUMBER: 2 OF 8		JOB NUMBER: 0001	
DATE: 29.03.23		DRAWN: BOH			
REVISIONS	ISSUE:	DATE:	DETAILS:	INITIALS:	
	A	29.03.23	WORKING DRAWING	BOH	
	B	06.04.23	WORKING DRAWING REV-1	BOH	
C	16.06.23	WORKING DRAWING REV-2	BOH		





# OVERSHADOWING | 2.0PM

TOTAL HOUSE AREA	
TOTAL HOUSE AREA	192.63 m <sup>2</sup>
SITE AREA	294 m <sup>2</sup>
SITE COVERAGE	65.52 %
PAVING	30.00
PERMEABLE COVERAGE	24.28 %

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T E J O R K P	SHEET CONTENT:	SCALE: 1:200	SHEET NUMBER: 2A OF 8	JOB NUMBER: 0001
	OVERSHADOWING PLAN-1 2PM	DATE: 29.03.23	DRAWN: BOH	
	PROPERTY ADDRESS: HOUSE - 6 LOT 20110 LASIO WAY, DONNYBROOK, VIC, 3064.			
	CLIENT: XXX			
	WORKING DRAWING			

REVISIONS	ISSUE:	DATE:	DETAILS:	INITIALS:
	A	29.03.23	WORKING DRAWING	BOH
	B	06.04.23	WORKING DRAWING REV-1	BOH
	C	16.06.23	WORKING DRAWING REV-2	BOH

NOTES:  
BUILDER TO VERIFY ALL BUILDING HEIGHTS AND ALL WRITTEN DIMENSIONS AND SETBACKS BEFORE COMMENCING OF ANY BUILDING WORKS. VERIFY ON SITE.

SMOKE DETECTORS:  
SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH AS3786-2014. LOCATE A MIN 300mm FROM WALLS & DOORWAYS & BE HARDWIRED & INTERCONNECTED THROUGHOUT THE DWELLING

NOTES:  
PROVIDE TILED FLOOR FINISH TO ALL WET AREAS. SEE BUILDER RANGE FOR SIZE & TYPE.

NOTE:  
ALL INTERNAL DIMENSIONS ARE TAKEN FROM TIMBER STUD TO TIMBER STUD. NOT INCLUDING PLASTER WALLS.

NOTE:  
BEAMS/LINTELS WHICH ARE NOT SPECIFIED ON PLANS SHOULD BE REFERRED TO STRUCTURAL ENGINEERS DRAWINGS OR TO BE DESIGNED & NOMINATE BY TRUSS MANUFACTURER.

NOTE:  
PROVIDE EXHAUST FANS, RANGEHOOD ETC, ARE TO VENT TO THE OUTSIDE ATMOSPHERE THROUGH ROOF VIA WHIRLY BIRD

**LEGEND**  
 GAS- GAS METER  
 MB - METER BOX  
 HWS- HOT WATER SYSTEM

NOTES:  
AS FROM THE 8TH OF SEPTEMBER 2011 THE GOVERNMENT HAS MADE CHANGES TO ALL PROPERTIES RATING THEM BUSH FIRE PROTECTED SO THE COST OF CONSTRUCTION MAY VARY DUE TO CONTRACT PRICE GIVEN AS PER EXTRA CONSTRUCTION REQUIREMENTS TO BE USE TO ACHIEVE A BAL OF 12.5 MINIMUM.

SMOKE DETECTORS:  
SMOKE ALARMS ARE TO BE PROVIDED WITH A BATTERY BACK-UP AND TO BE HARDWIRED IN ACCORDANCE WITH NCC 2019

NOTES:  
PRIVACY SETS TO BATHROOMS.

NOTE:  
THE DAMP PROOF COURSE MUST TERMINATE AT NO LESS THAN 150mm ABOVE EXTERNAL SURFACES VIA WEEPHOLES, & BELOW THE INTERNAL FLOOR LEVEL.

NOTES:  
PROVIDE A GRADE SAFETY GLASS TO BE INSTALLED IN ALL WET AREA GLAZING ASSEMBLIES WHERE THE LOWEST LINE OF SIGHT IS LESS THAN 2 METERS FROM THE FINISHED FLOOR LEVEL.

NOTE:  
PROVIDE WEEPHOLES @ 960mm MAX. CENTERS WITH CONTINUOUS FLASHING WHERE THE BRICKWORK EXTENDS OVER THE OPENING.

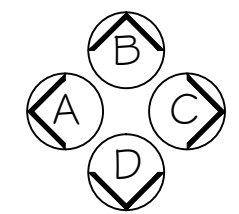
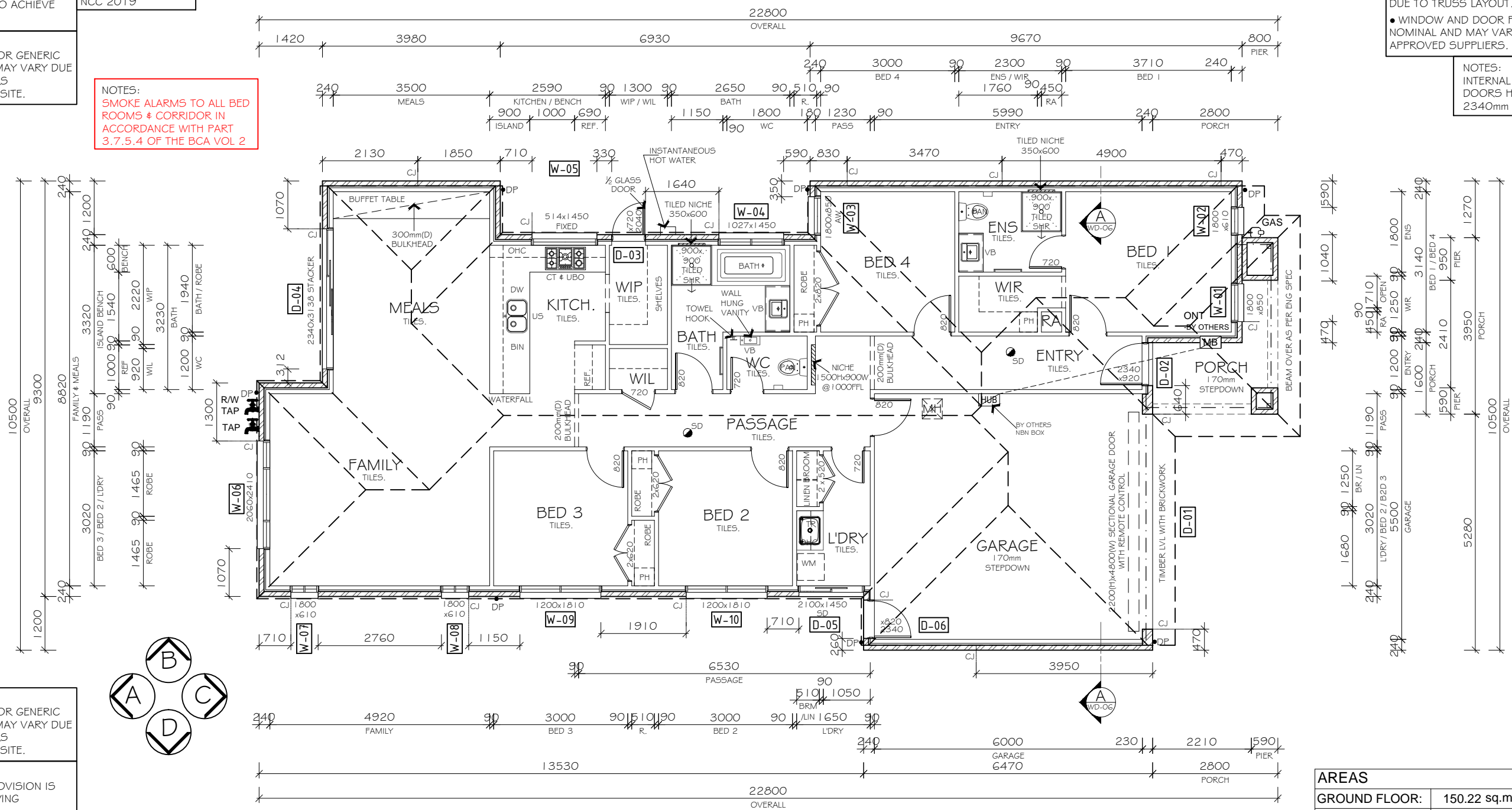
**NOTES**  
 ● ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2m CLEARANCE BETWEEN THE CLOSET PAN & THE DOORWAY.  
 ● MAN HOLE LOCATION MAY BE CHANGED DUE TO TRUSS LAYOUT.  
 ● WINDOW AND DOOR FRAME SIZES ARE NOMINAL AND MAY VARY WITH BUILDER'S APPROVED SUPPLIERS.

NOTES:  
THE WINDOWS NOTED ARE FOR GENERIC SIZE ONLY. THE EXACT SIZE MAY VARY DUE TO WINDOW MANUFACTURERS SPECIFICATIONS. VERIFY ON SITE.

NOTES:  
SMOKE ALARMS TO ALL BED ROOMS & CORRIDOR IN ACCORDANCE WITH PART 3.7.5.4 OF THE BCA VOL 2

NOTES:  
INTERNAL DOOR & ROBE DOORS HEIGHTS TO BE 2340mm (H)

NOTES:  
SAFETY GLAZING- ALL GLAZING TO BE IN ACCORDANCE WITH AS 1288, AS2047 & NCC BCA PART 3.6 ALL ROOMS- WITHIN 500mm VERTICAL OF FLOOR LEVEL BATHROOMS - ALL GLAZING IN BATHROOMS, ENSUITE, SPA ROOMS OR LIKE, INCLUDING SHOWER DOORS & SCREENS, BATH ENCLOSURES & ASSOCIATED WINDOWS WITHIN 2000mm VERTICAL FROM THE BATH OR SHOWER BASE OR FINISHED FLOOR LEVEL LAUNDRY - WITHIN 1200mm VERTICAL FROM FLOOR LEVEL #/OR WITHIN 300mm VERTICAL OF TROUGH, DOORWAY - WITHIN 300mm HORIZONTAL FROM ALL DOORS.



# GROUND FLOOR PLAN

NOTES:  
THE WINDOWS NOTED ARE FOR GENERIC SIZE ONLY. THE EXACT SIZE MAY VARY DUE TO WINDOW MANUFACTURERS SPECIFICATIONS. VERIFY ON SITE.

NOTES:  
THE ARTIFICIAL LIGHTING PROVISION IS NOT TO EXCEED THE FOLLOWING REQUIREMENTS:  
 5 W/m<sup>2</sup> FOR HABITABLE ROOM SPACES.  
 4 W/m<sup>2</sup> FOR VERANDAHS OR BALCONIES ATTACHED TO CLASS 1 BUILDING.  
 3 W/m<sup>2</sup> FOR A CLASS 10 BUILDING.  
 SEE ELECTRICAL PLAN AS DETAILED BY A QUALIFIED ELECTRICIAN.

AREAS		
GROUND FLOOR:	150.22 sq.m	16.17 sqrs
GARAGE:	36.05 sq.m	3.88 sqrs
PORCH:	6.36 sq.m	0.68 sqrs
CASUAL LIVING:	0 sq.m	0.00 sqrs
<b>TOTAL:</b>	<b>192.63 sq.m</b>	<b>20.74 sqrs</b>

NOTES:  
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 WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS U.N.O.  
 GARAGE ROOF TO BE TIED DOWN MIN. 1200 INTO BRICKWORK WITH HOOP IRON STRAPS.  
 ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH B.C.A.3.8.3.



T C E J O R P	SHEET CONTENT: <b>GROUND FLOOR PLAN</b>	SCALE: 1:100	SHEET NUMBER: 3 OF 8	JOB NUMBER: 0001	
	PROPERTY ADDRESS: HOUSE - 6 LOT 20110 LASIO WAY, DONNYBROOK, VIC, 3064.	DATE: 29.03.23	DRAWN: BOH		
	CLIENT: XXX	ISSUE:	DATE:	DETAILS:	INITIALS:
	WORKING DRAWING	A	29.03.23	WORKING DRAWING	BOH
		B	06.04.23	WORKING DRAWING REV-1	BOH
		C	16.06.23	WORKING DRAWING REV-2	BOH



NOTE:  
IT IS BUILDER RESPONSIBILITY TO ESTABLISH THE FINISHED FLOOR LEVELS & FINISHED WALL HEIGHTS IN RELATION TO THE RELEVANT GROUND LEVELS DURING SETOUT & BEFORE ANY EXCAVATION WORKS ARE UNDERTAKEN SO AS TO ENSURE THAT ALL DESIGN ASSUMPTIONS ARE FULLY REALIZE IN PRACTICE & COMPLY WITH THE RELEVANT BUILDING CODES & SITTING REQUIREMENTS.

NOTE:  
USUALLY A SECTIONAL DETAIL IS SHOWN, SHOWING THE DAMP PROOF COURSE TERMINATING BELOW THE INTERNAL FLOOR LEVEL, AND A MIN 100MM ABOVE EXTERNAL SURFACE. ALSO THIS SECTION WOULD HAVE A NOTE STATING "SURFACE AROUND THE PERIMETER OF DWELLING TO BE GRADED AWAY AT 25MM OVER THE FIRST METRE". THIS SAVE A HEAP OF HEADACHES AT THE END OF THE JOB, WHERE THE WEEP HOLES DON'T HAVE ENOUGH CLEARING, AND THE SURFACE AROUND THE DWELLING HAS NO FALL.

NOTE:  
PROVIDE WEEPHOLES @ 960mm MAX. CENTERS WITH CONTINUOUS FLASHING WHERE THE BRICKWORK EXTENDS OVER THE OPENING.

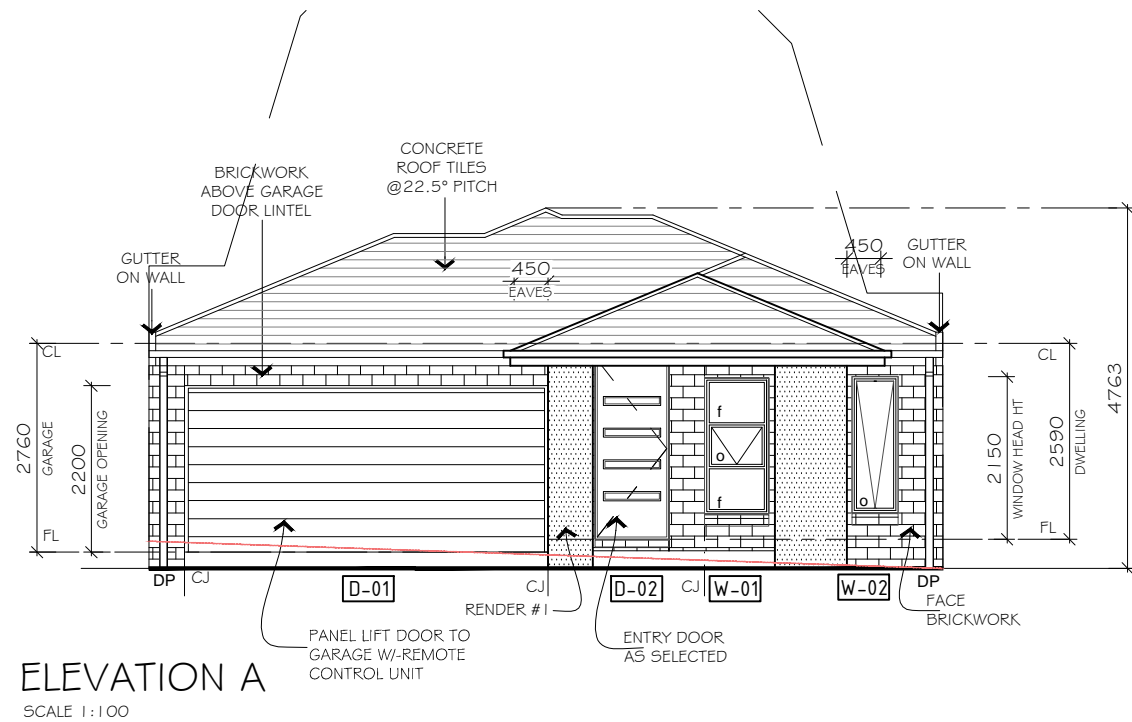
NOTE:  
WEEP HOLES @ 1.2 METRE SPACING AND ABOVE WINDOWS MORE THAN 1.0 METRE WIDE.

NOTE:  
ROOF DESIGN SHOWN FOR GUIDE PURPOSES ONLY, SEE THE ROOF MANUFACTURERS DRAWINGS FOR EXACT DESIGN.

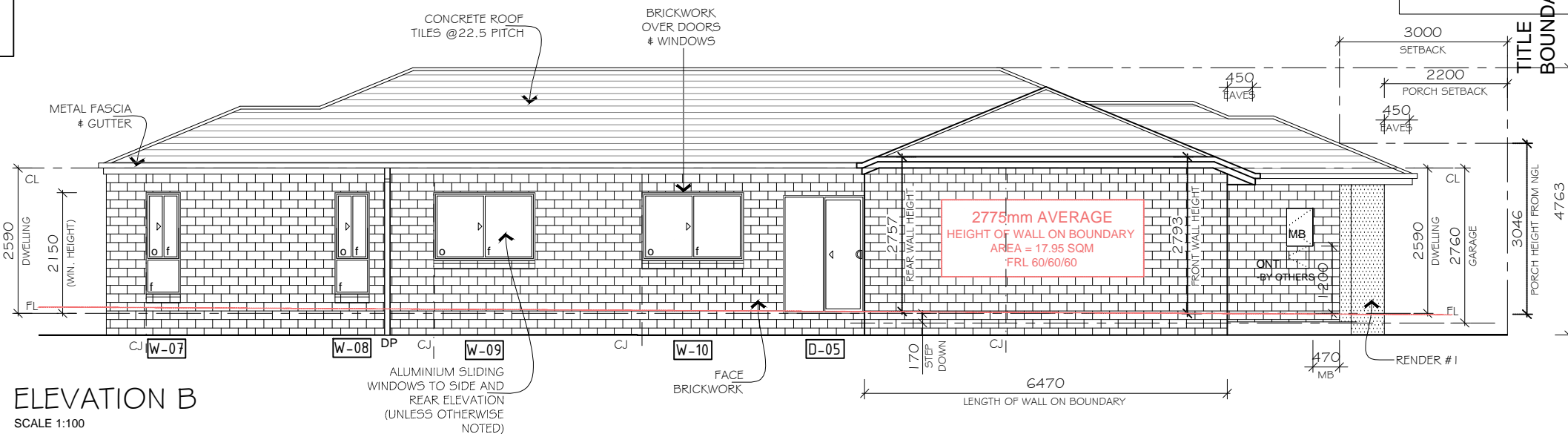
NOTE:  
PLATFORMS OUTSIDE EXTERNAL DOORS BACKFILL TO DOORS NOT TO BE GREATER THAN 190mm IN ACCORDANCE WITH BCA 3.9.1.5 THRESHOLDS.

NOTE:  
WHERE CONSTRUCTION JOINTS ARE ADJACENT TO A DOOR OR OPENING, THE ARTICULATION JOINTS ARE TO EXTEND ALONGSIDE THE OPENING.

NOTE:  
STEP DOWN NOT EXCEED 230mm FOR (L'DRY DOOR, REAR SLIDING DOOR & FRONT DOOR)



ELEVATION A  
SCALE 1:100



ELEVATION B  
SCALE 1:100

WINDOW & DOOR SCHEDULE				
All lintel sizes to be checked and compared with engineer's specifications/size recommendations				
WINDOW NO	HEIGHT	WIDTH	QTY.	NOTES:
1	1800	850	1	Aluminium frame awning / fix window
2	1800	610	1	Aluminium frame awning window
3	1800	850	1	Aluminium frame awning / fix window
4	1027	1450	1	Aluminium frame sliding window with 10mm offset & 120mm reveal tiles inset (obscure safety glass to bath)
5	514	1450	1	Aluminium frame fix window with 10mm offset & 120mm reveal (sitting on bench no bottom reveal)
6	2060	2410	1	Aluminium frame sliding / fix window
7,8	1800	610	2	Aluminium frame sliding / fix window
9,10	1200	1810	2	Aluminium frame sliding window
DOOR NO.	HEIGHT	WIDTH	QTY.	NOTES:
1	2200	4800	1	Panel lift garage door
2	2340	920	1	Designer 920 entry door
3	2040	720	1	External 720 door (1/2 Glass)
4	2340	3138	1	Aluminium frame stacker door
5	2100	1450	1	Aluminium frame sliding door
6	2340	820	1	External 820 door
NOTE:				Alternative timber lintels in F27 seasoned hardwood as per AS 1684.
All Glazing to comply with AS-1288-2006				

# ELEVATIONS

NOTES:  
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ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH B.C.A.3.8.3.



T C E J O R P	SHEET CONTENT:	SCALE: 1:100	SHEET NUMBER: 4 OF 8	JOB NUMBER: 0001
	ELEVATIONS: A & B	DATE: 29.03.23	DRAWN: BOH	
	PROPERTY ADDRESS: HOUSE - 6 LOT 20110 LASIO WAY, DONNYBROOK, VIC, 3064.			
	CLIENT: XXX			
	WORKING DRAWING			

REVISIONS	ISSUE:	DATE:	DETAILS:	INITIALS:
	A	29.03.23	WORKING DRAWING	BOH
	B	06.04.23	WORKING DRAWING REV-1	BOH
	C	16.06.23	WORKING DRAWING REV-2	BOH

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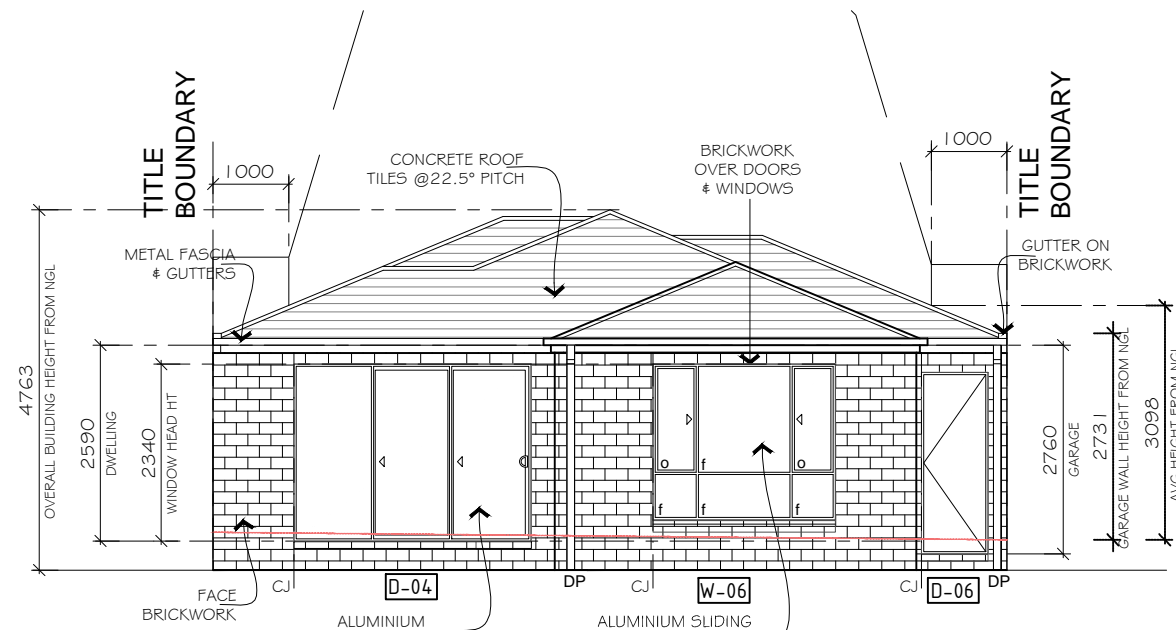
NOTE:  
WEEP HOLES @ 1.2 METRE SPACING AND ABOVE WINDOWS MORE THAN 1.0 METRE WIDE.

NOTE:  
ROOF DESIGN SHOWN FOR GUIDE PURPOSES ONLY, SEE THE ROOF MANUFACTURES DRAWINGS FOR EXACT DESIGN.

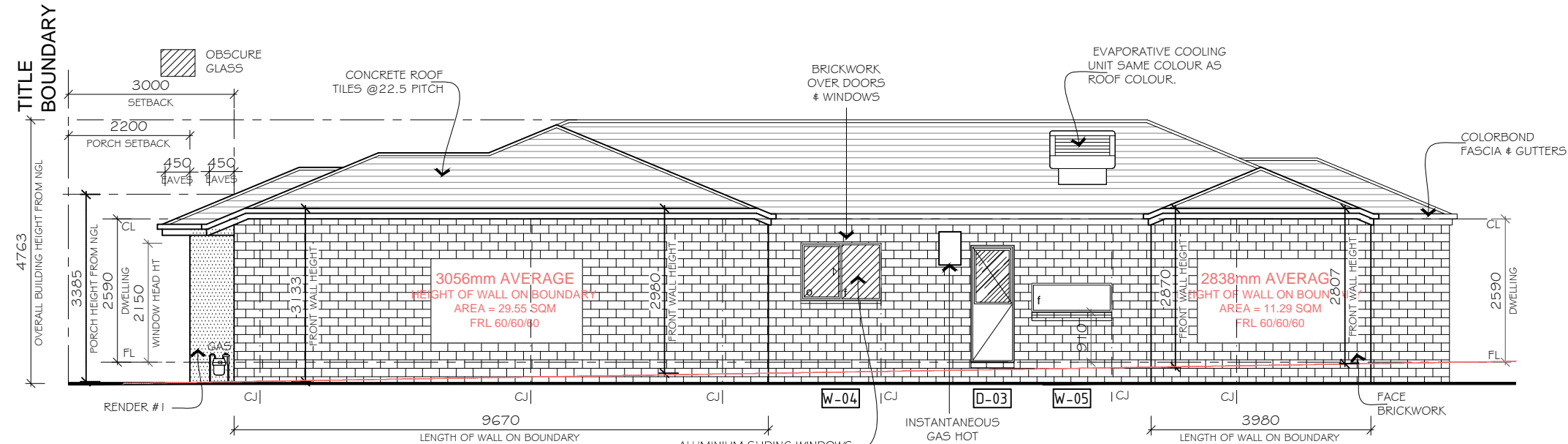
NOTE:  
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NOTE:  
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NOTE:  
STEP DOWN NOT EXCEED 230mm FOR (L'DRY DOOR, REAR SLIDING DOOR & FRONT DOOR)



ELEVATION C  
SCALE 1:100



ELEVATION D  
SCALE 1:100

# ELEVATIONS

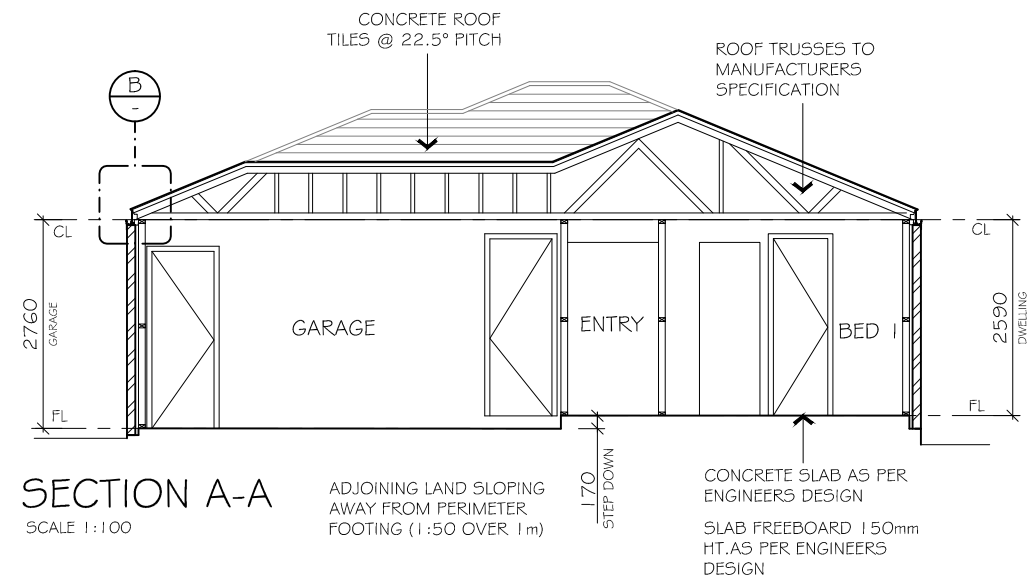
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T C U J O R P	SHEET CONTENT:	ELEVATIONS: C & D
	PROPERTY ADDRESS:	HOUSE - 6 LOT 20110 LASIO WAY, DONNYBROOK, VIC, 3064.
	CLIENT:	XXX
		WORKING DRAWING

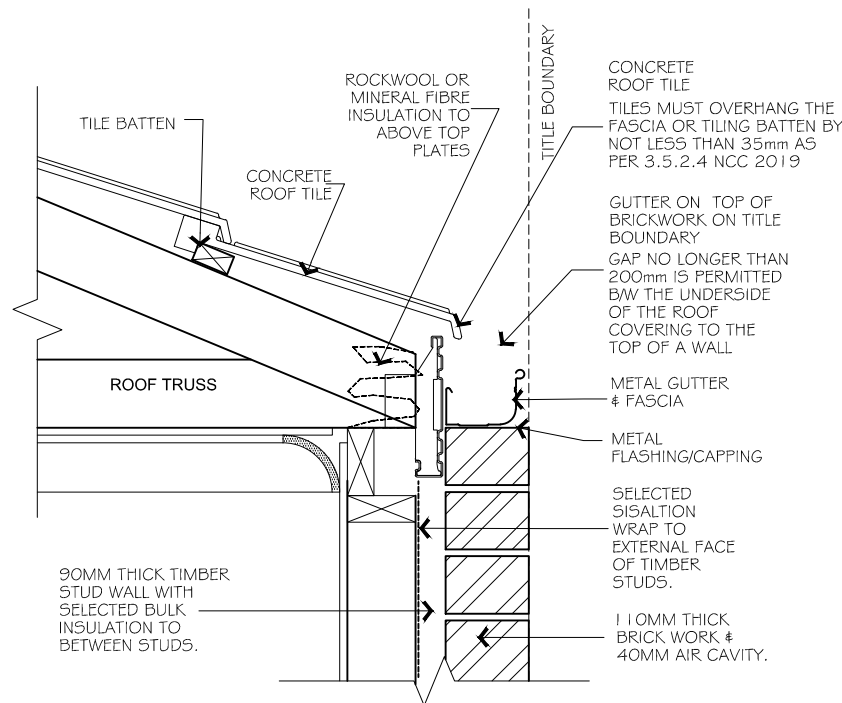
SCALE:	1:100	SHEET NUMBER:	5 OF 8	JOB NUMBER:	0001
DATE:	29.03.23	DRAWN:	BOH		
REVISIONS	ISSUE:	DATE:	DETAILS:	INITIALS:	
	A	29.03.23	WORKING DRAWING	BOH	
	B	06.04.23	WORKING DRAWING REV-1	BOH	
	C	16.06.23	WORKING DRAWING REV-2	BOH	





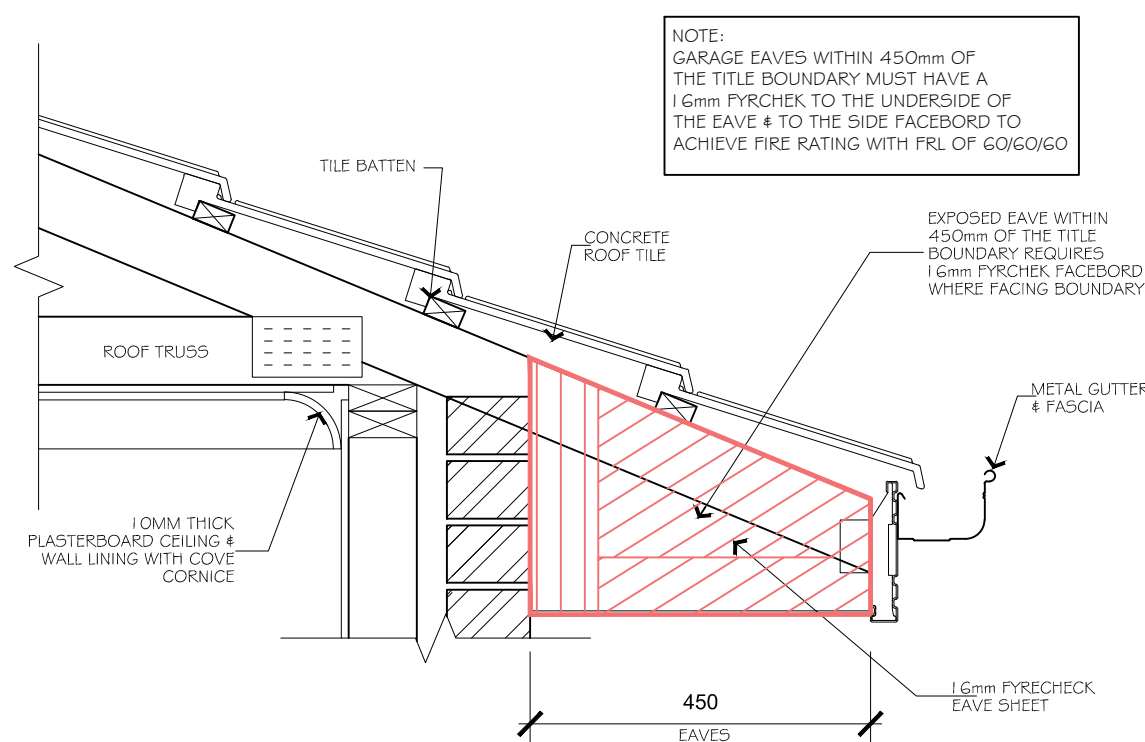
Below are the notes/requirements for 6 Stars:

- \*Single glazed aluminium window and door frames throughout, with low-e coating to Meals area stacker door only (Southern Star brand or equivalent). See NatHERS report for individual window values and codes
- \*R6.0 insulation to the ceiling
- \*R2.7 insulation batts (with reflective foil wrap - Emissivity = 0.56 or less) to external walls, including walls b/n house and Garage (without RFL). No insulation to external Garage walls
- \*R2.7 insulation batts to internal walls surrounding Bathroom and Laundry only
- \*Polystyrene waffle pod slab construction
- \*Self closing exhaust fans throughout, including heater/light/fan combination units (if present)
- \*Draught seals to all external hinged doors
- \*Where downlights are used, "Approved Non-Ventilated Covers" are to be installed to avoid insulation removal and minimise air infiltration.



**B** GUTTER DETAIL  
SCALE: 1:10 - GUTTER ON BRICKWORK

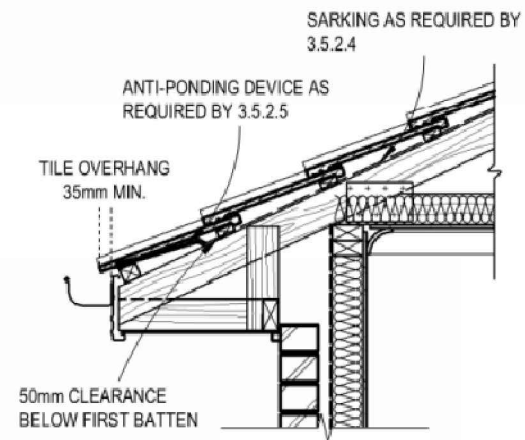
ACCORDANCE WITH FIGURE 3.7.2.3 OF NCC 2019 VOL 2



**-** FIRE RATED EAVE ON BOUNDARY DETAIL  
SCALE: 1:10 - 450MM EAVES

**VENTILATION & INSULATION :**

- PROVIDE THERMAL INSULATION ACCORDANCE WITH THE REQUIREMENTS OF "BUILDING CODE OF AUSTRALIA" PART F6.2 TABLE F 6.1. NOTE THAT REFLECTIVE FOIL LAMINATE MUST COMPLY WITH AS 1904 & HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5.
- MECHANICAL VENTILATION TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF THE BCA.
- PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING OR 300mm WHERE IN TERMITE PRONE AREA.
- SUB FLOOR VENTS TO PROVIDE A RATE OF 600mm SQ. CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL MASONRY WALL.
- THERMAL INSULATION TO BE PROVIDED AS FOLLOWS FOR SLAB CONSTRUCTION. (REFER TO ENERGY RATING REPORT) R.F.L TO HAVE FLAMMABILITY INDEX NOT EXCEEDING 5.



**FIGURE 3.5.2.4 TYPICAL INSTALLATION OF ANTI - PONDING DEVICE BOARD**

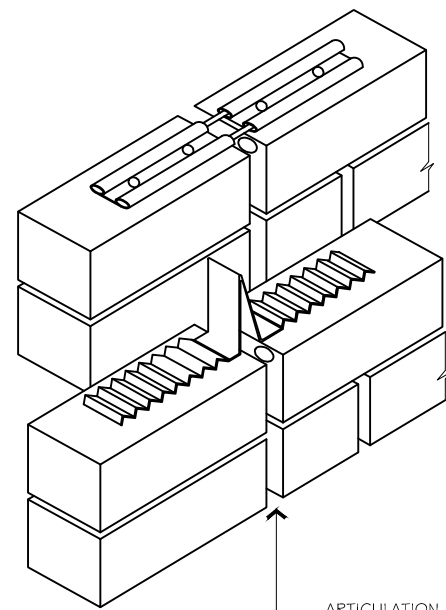
## SECTION A-A & DETAILS

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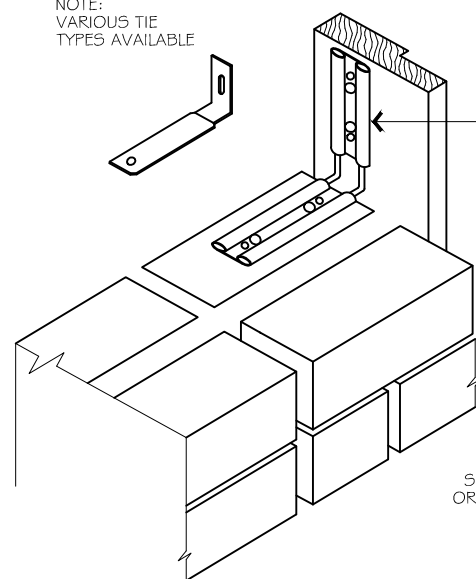
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	SECTION & DETAILS	DATE: 29.03.23	DRAWN: BOH	
	PROPERTY ADDRESS: HOUSE - 6 LOT 20110 LASIO WAY, DONNYBROOK, VIC, 3064.			
	CLIENT: XXX			
	WORKING DRAWING			

ISSUE	DATE	DETAILS	INITIALS
A	29.03.23	WORKING DRAWING	BOH
B	06.04.23	WORKING DRAWING REV-1	BOH
C	16.06.23	WORKING DRAWING REV-2	BOH

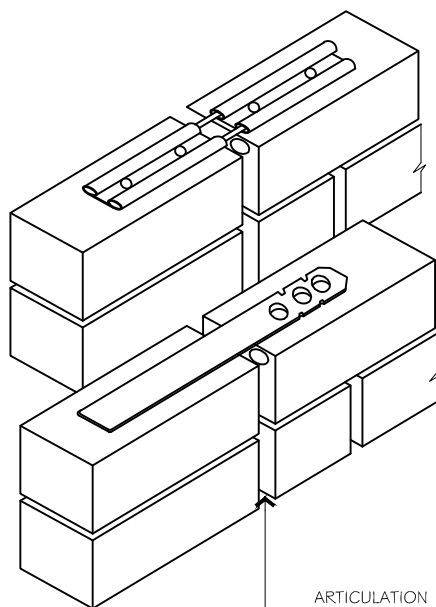


MASONRY EXPANSION (SLIDING / EXTENDABLE) TIES

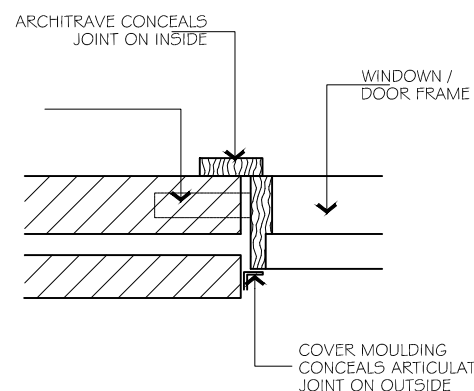
NOTE: VARIOUS TIE TYPES AVAILABLE



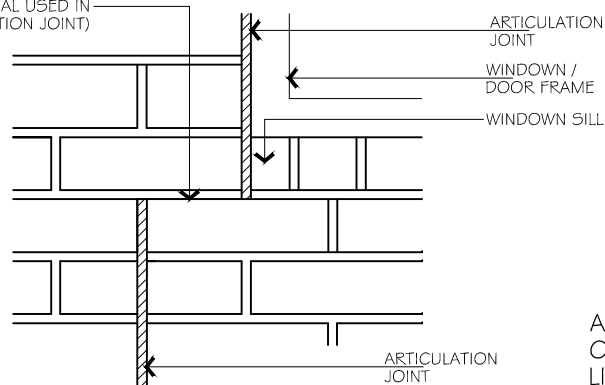
MASONRY EXPANSION TIE SCREWED TO WINDOW FRAME



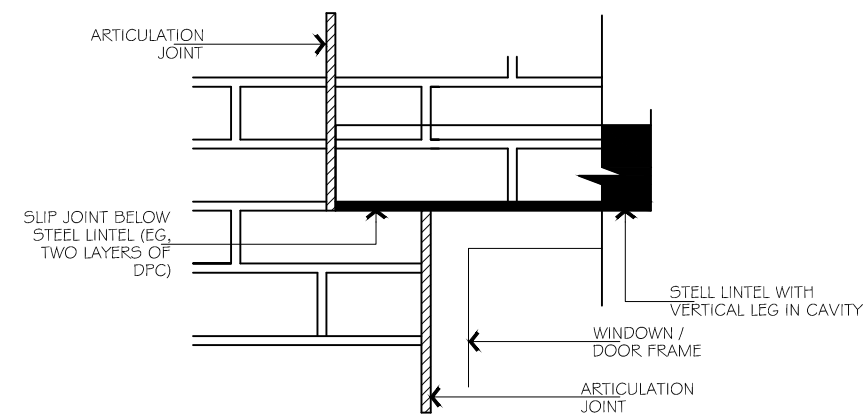
ARTICULATION JOINT



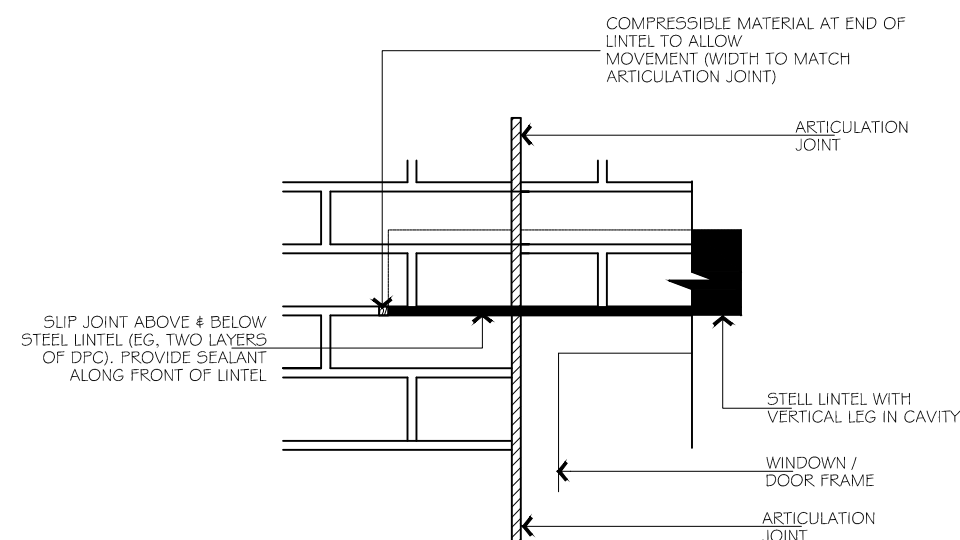
SLIP JOINT (EG. TWO LAYERS OF DPC OR COMPRESSIBLE MATERIAL USED IN ARTICULATION JOINT)



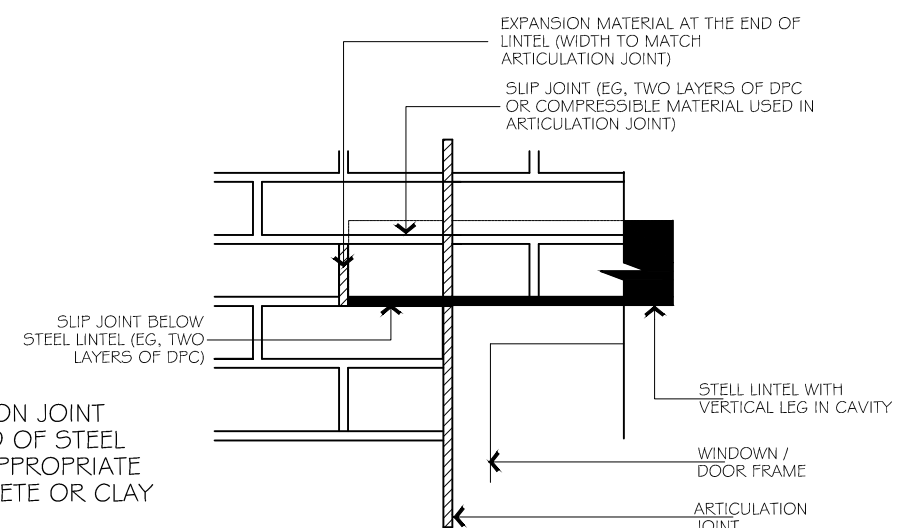
ARTICULATION JOINT



ARTICULATION JOINT OFFSET TO END OF STEEL (OR OTHER) LINTEL OVER OPENING (THIS DETAIL IS RECOMMENDED WHERE POSSIBLE TO ENSURE ARCHING OF MASONRY OVER OPENING)



ALTERNATIVE IF ARTICULATION JOINT CANNOT BE OFFSET TO END OF STEEL LINTEL



ALTERNATIVE IF ARTICULATION JOINT CANNOT BE OFFSET TO END OF STEEL LINTEL (SIMILAR DETAIL IS APPROPRIATE FOR PRE-STRESSED CONCRETE OR CLAY LINTELS)

# SECTION A-A & DETAILS

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SHEET CONTENT:  
**SECTION & DETAILS**

PROPERTY ADDRESS: HOUSE - 6  
 LOT 20110 LASIO WAY,  
 DONNYBROOK, VIC, 3064.

CLIENT:  
 XXX

WORKING DRAWING

SCALE: AS SHOWN

SHEET NUMBER:  
 6A OF 8

JOB NUMBER: 0001

DATE: 29.03.23

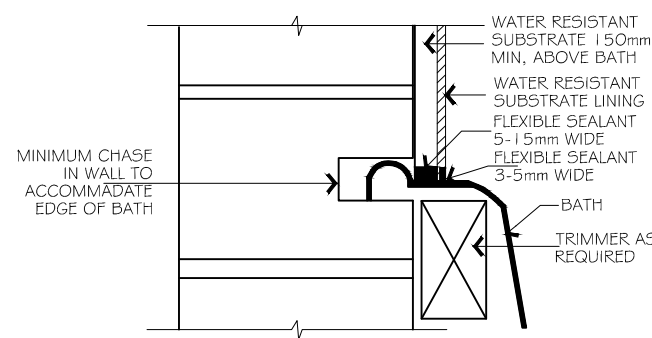
DRAWN: BOH

ISSUE	DATE	DETAILS	INITIALS
A	29.03.23	WORKING DRAWING	BOH
B	06.04.23	WORKING DRAWING REV-1	BOH
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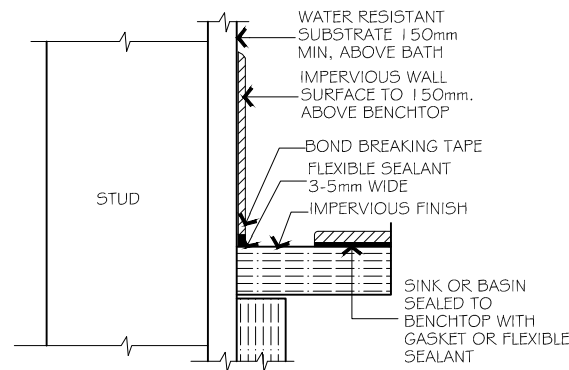
TYPICAL WALL AND BATH JUNCTIONS

MASONRY WALL JUNCTION

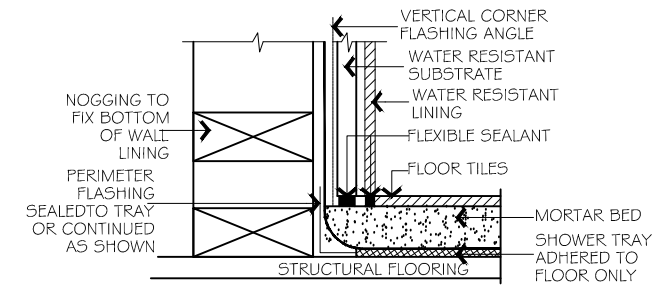


TYPICAL WALL WITH FIXTURES

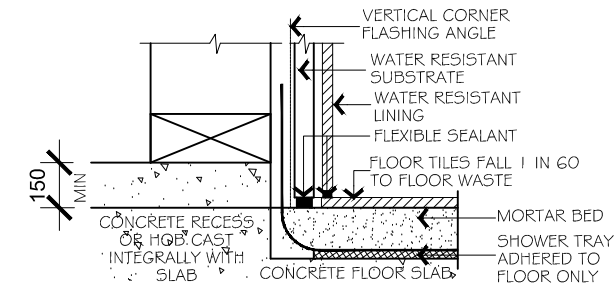
WALL AND BENCHTOP JUNCTION



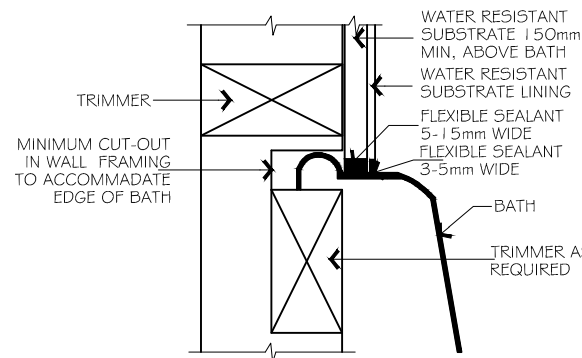
SHOWER TRAY ON TIMBER FLOOR



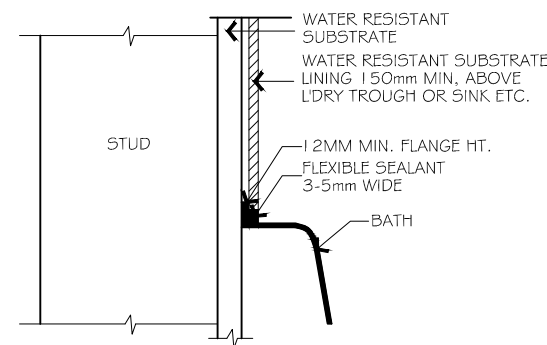
SHOWER TRAY ON CONCRETE FLOOR



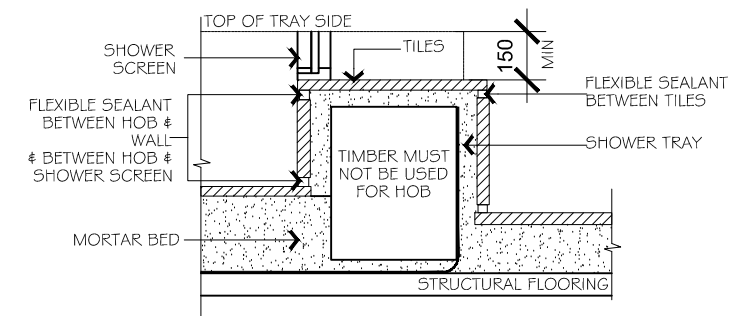
TIMBER WALL JUCTIONS



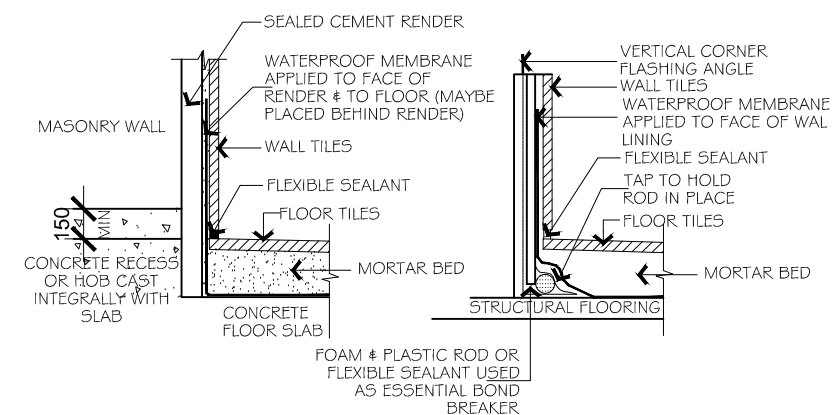
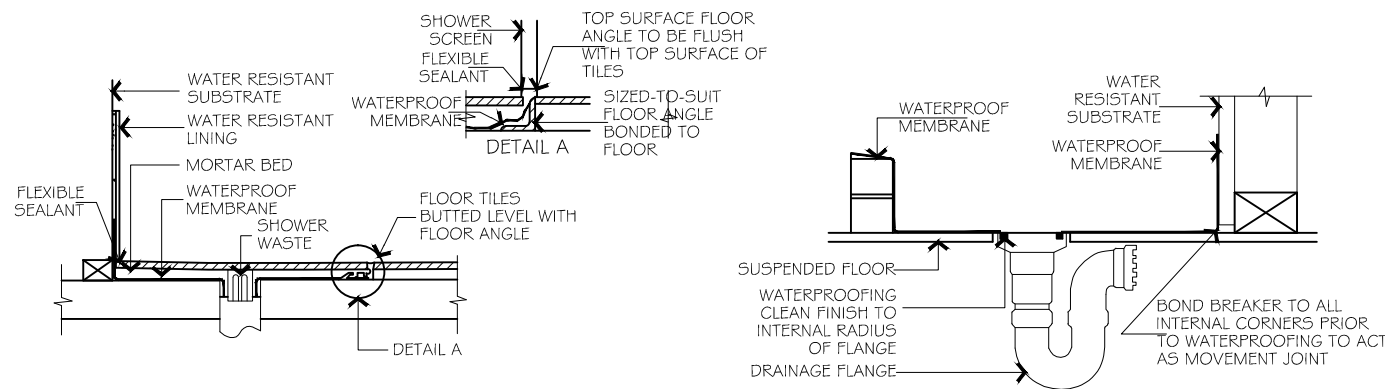
WALL & LAUNDRY SINK JUCTIONS



BRICK HOB INSIDE SHOWER TRAY



TYPICAL INSTALLATION OF WATER PROOFING MEMBRANE TO SHOWER FLOOR



SECTION A-A & DETAILS

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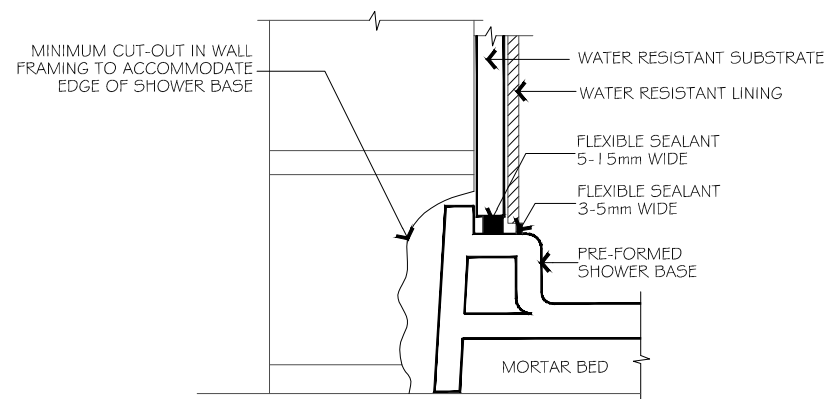
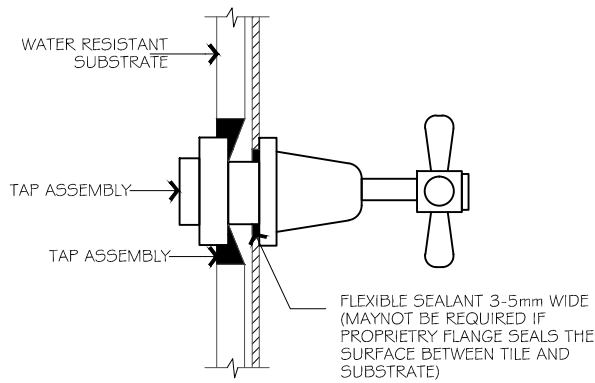
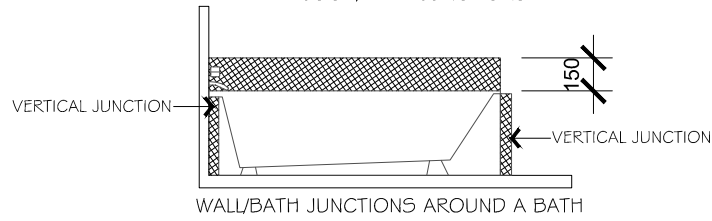
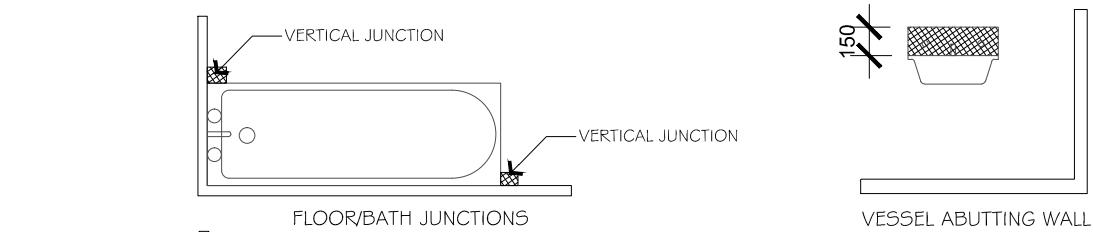


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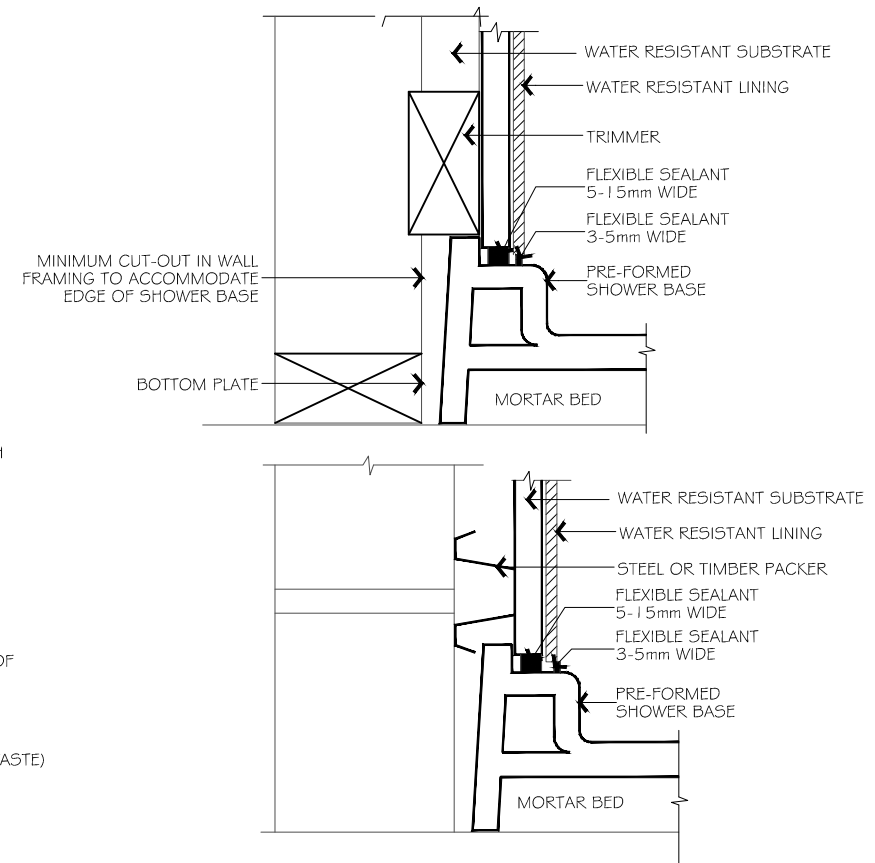
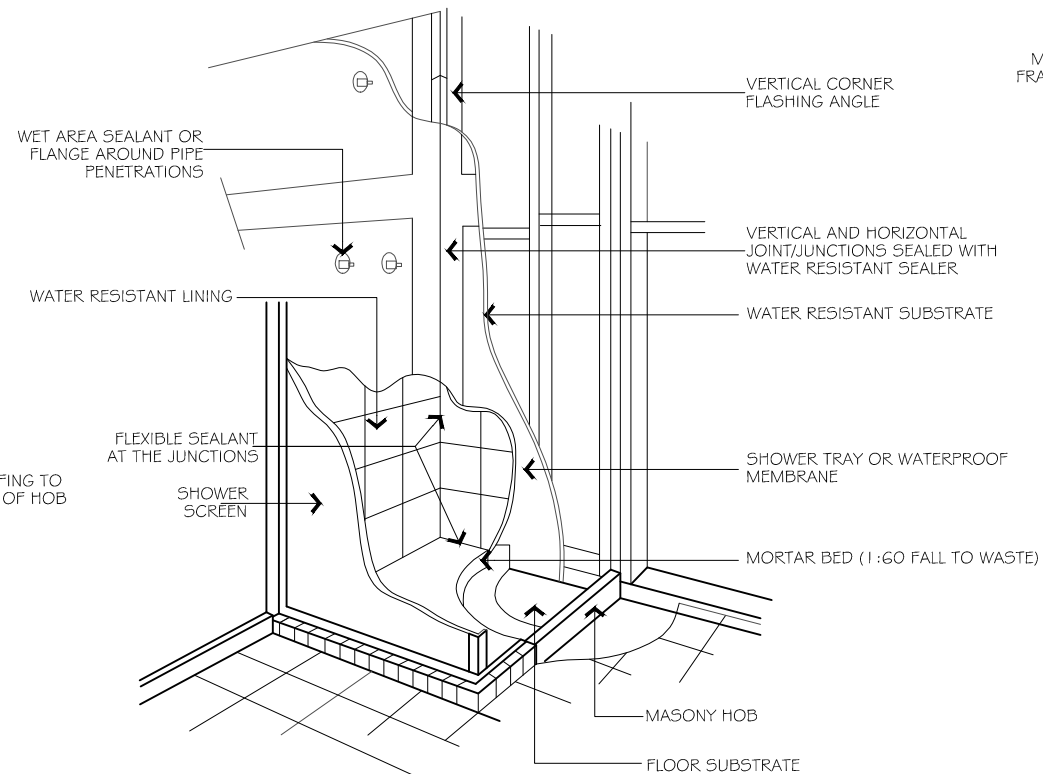
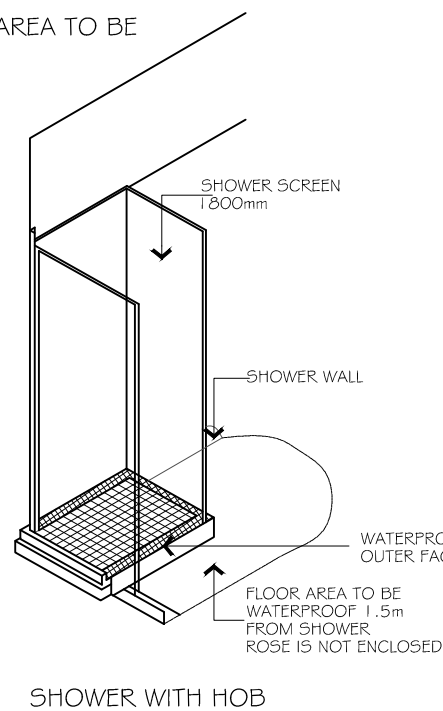
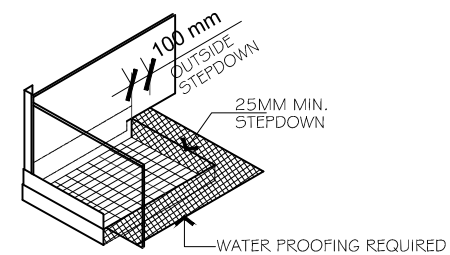
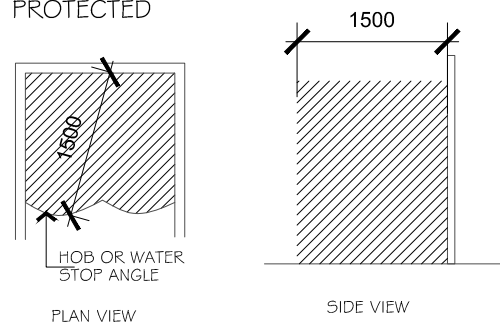
T C U E J O R P	SHEET CONTENT:	SCALE: AS SHOWN	SHEET NUMBER: 6B OF 8	JOB NUMBER: 0001	
	SECTION & DETAILS	DATE: 29.03.23	DRAWN: BOH		
	PROPERTY ADDRESS: HOUSE - 6 LOT 20110 LASIO WAY, DONNYBROOK, VIC, 3064.				
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		B	06.04.23	WORKING DRAWING REV-1	BOH
		C	16.06.23	WORKING DRAWING REV-2	BOH
	WORKING DRAWING				

BATH AND WALL FIXTURES-AREA TO BE PROTECTED

Waterproofing to internal wet areas and bathrooms is to be in accordance with AS3740. Amend architectural drawings and provide relevant architectural specifications and details to confirm waterproofing systems to be adopted are to be provided, including water stop to shower cubical and the shower floor to have a max 1:80 grade to the floor waste



ENDCLOSED AND UNENCLOSED SHOWER-AREA TO BE PROTECTED



SECTION A-A & DETAILS

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T C E J O R P	SHEET CONTENT:		SCALE: AS SHOWN	SHEET NUMBER: 6C OF 8	JOB NUMBER: 0001
	SECTION & DETAILS		DATE: 29.03.23	DRAWN: BOH	
	PROPERTY ADDRESS: HOUSE - 6 LOT 20110 LASIO WAY, DONNYBROOK, VIC, 3064.				
	CLIENT: XXX				
WORKING DRAWING					

ISSUE	DATE	DETAILS	INITIALS
A	29.03.23	WORKING DRAWING	BOH
B	06.04.23	WORKING DRAWING REV-1	BOH
C	16.06.23	WORKING DRAWING REV-2	BOH



**LEGEND**

- STANDARD BATTEN
- LED DOWNLIGHT (AS SELECTED)
- ⊗ CEILING EXHAUST FAN
- ⊗ SINGLE GPO - 300mm
- ⊗ SINGLE GPO - 1100mm
- ⊗ SINGLE GPO - 1350mm
- ⊗<sup>WP</sup> DOUBLE GPO - EXTERNAL WEATHERPROOF
- ⊗ EXTERNAL LIGHT POINT
- ⊗ WALL LIGHT BATTEN HOLDER - EXTERNAL

- ⊗<sup>M</sup> SINGLE GPO - FOR M/WAVE @ 750mm(h)
- ⊗<sup>D</sup> SINGLE GPO - D/WASHER @ 750mm(h)
- ⊗ DOUBLE GPO - 300mm
- ⊗ DOUBLE GPO - 1100mm
- ⊗ DOUBLE GPO - 1350mm
- ▽ TELEVISION POINT
- SMOKE DETECTOR
- ⊗ FLOOD LIGHT - SINGLE
- DATA POINT
- JUNCTION BOX

- ⊗ CEILING HEATING DUCT (APPROX LOCATION)
- E EVAPORATIVE COOLING DUCT
- ⊗ THERMOSTAT
- POWER POINT FOR GARAGE REMOTE PANEL DOOR - LOCATE ON CEILING 3300mm FROM DOOR OPENING LINTEL & 200mm OFF DOOR CENTRE.
- TP TERMINATION POINT
- TELEPHONE POINT
- AB □ ACP ALARM SYSTEM (WITH 3 SENSORS)
- ⊗ ALARM SENSOR
- INT AUDIO VIDEO INTERCOM

- DH DUCTED HEATING UNIT LOCATION
- MH ROOF ACCESS
- DB DOOR BELL
- 1200 1200 FLUORO - SINGLE
- ⊗ HEATER/FAN UNIT - 2 GLOBE
- ⊗ HEATER/FAN UNIT - 4 GLOBE
- RA RETURN AIR

NCC PART 3.12.5.5 ARTIFICIAL LIGHTING LAMP POWER DENSITY SHALL NOT EXCEED:  
 5W/sq.m FOR CLASS 1 BUILDING  
 4W/sq.m FOR VERANDAH, ALFRESCO, PORCH OR BALCONY  
 3W/sq.m FOR CLASS 10a BUILDING PERIMETER LIGHTING TO BE CONTROLLED BY A SENSOR OR HAVE A MAXIMUM OF 40 LUMENS PER WATT.  
 SMOKE DETECTORS TO BE INTERCONNECTED AS PER NCC 2015

ARTIFICIAL LIGHTING WATTAGE						
ROOM	AREA (m <sup>2</sup> )	ALLOWABLE WATTAGE PER (m <sup>2</sup> )	TOTAL ALLOWABLE WATTAGE	CURRENT TOTAL WATTAGE	CURRENT WATTAGE PER (m <sup>2</sup> )	
PORCH/ALFRESCO	6.36	4 W/m <sup>2</sup>	25.44 W	11 W	1.73 W/m <sup>2</sup>	
GARAGE	36.05	3 W/m <sup>2</sup>	108.15 W	11 W	0.31 W/m <sup>2</sup>	
GROUND	150.22	5 W/m <sup>2</sup>	751.10 W	353 W	2.35 W/m <sup>2</sup>	
<b>TOTAL</b>	<b>192.63</b>			<b>375 W</b>	<b>1.95 W/m<sup>2</sup></b>	

NOTE:  
 EXHAUST FAN FLOW RATES AS PER CLAUSE 3.8.7.3 OF NCC 2019  
 BATHROOM OR SANITARY COMPARTMENT - 25L/s  
 KITCHEN OR L'DRY - 40L/s

NOTE:  
 PROVIDE EXHAUST FANS, RANGEHOOD ETC, ARE TO VENT TO THE OUTSIDE ATMOSPHERE THROUGH ROOF VIA WHIRLY BIRD

NOTES:  
 SMOKE ALARMS TO ALL BED ROOMS & CORRIDOR IN ACCORDANCE WITH PART 3.7.5.4 OF THE BCA VOL 2

SMOKE DETECTORS:  
 SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH AS3786-2014. LOCATE A MIN 300mm FROM WALLS & DOORWAYS & BE HARDWIRED & INTERCONNECTED THROUGHOUT THE DWELLING

SMOKE DETECTORS:  
 SMOKE ALARMS ARE TO BE PROVIDED WITH A BATTERY BACK-UP AND TO BE HARDWIRED IN ACCORDANCE WITH NCC 2019

NOTE:  
 ALL LIGHT SWITCHES ARE LOCATED 1050MM FROM FLOOR LEVEL UNLESS NOTTED OTHERWISE.

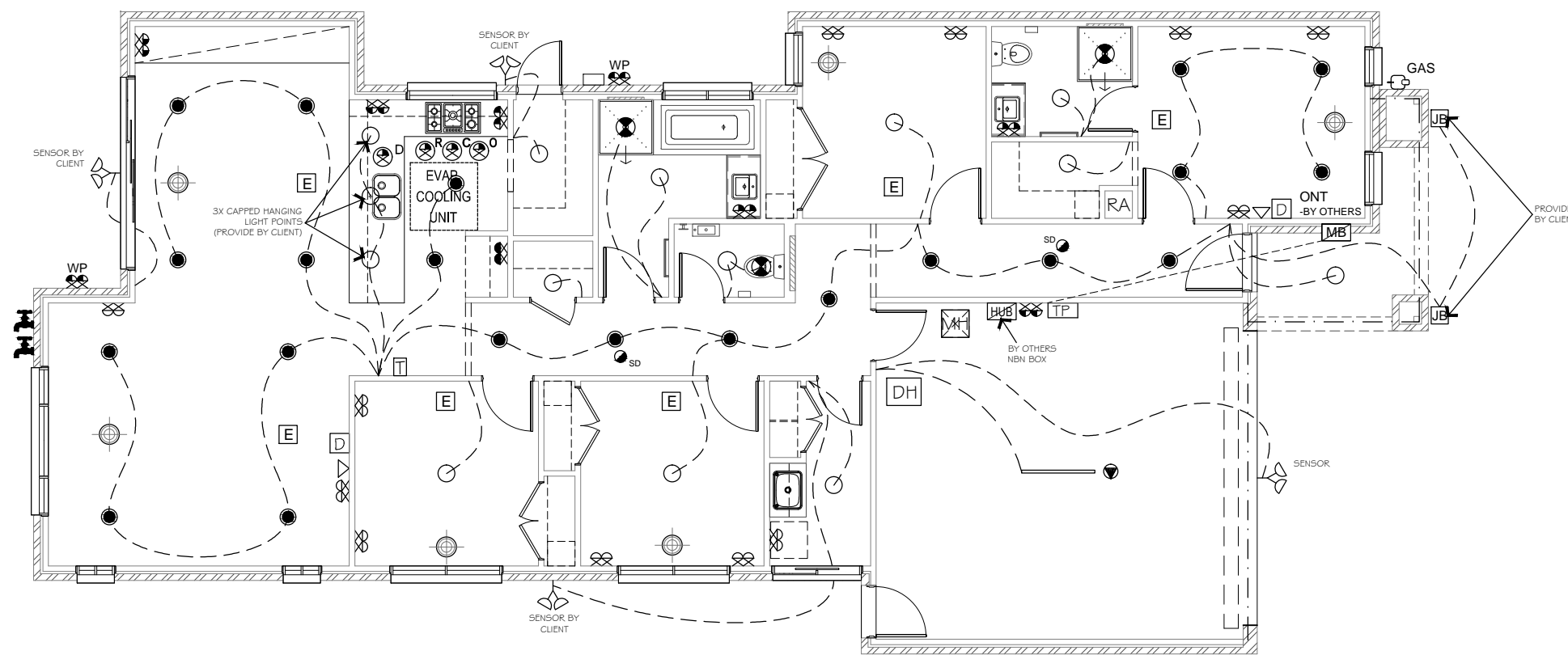
NOTE:  
 PROVIDE EXHAUST FANS, RANGEHOOD ETC, ARE TO VENT TO THE OUTSIDE ATMOSPHERE.

NOTE:  
 HEATING & COOLING OUTLET LOCATIONS ARE IN APPROXIMATE POSITIONS ONLY & ARE SUBJECT TO VERIFICATION BY HEATING CONTRACTOR.

NOTE:  
 ALL MECHANICAL VENTILATION MUST BE DISCHARGED TO THE OUTSIDE.

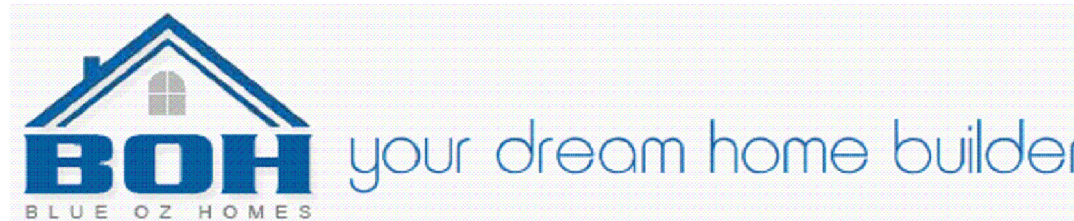
NOTE:  
 THIS IS OPTICOMM ESTATE: ONT CONNECTION REQUIRED - BY OTHERS.

NOTE:  
 PROVIDE SINGLE GPO AND BATTEN LIGHT TO ROOF SPACE - CLOSE TO MANHOLE



**ELECTRICAL**

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T SHEET CONTENT:  
**ELECTRICAL**  
 PROPERTY ADDRESS: HOUSE - 6  
 LOT 20110 LASIO WAY,  
 DONNYBROOK, VIC, 3064.  
 CLIENT:  
 XXX  
 WORKING DRAWING

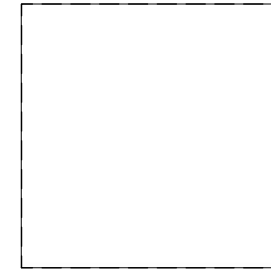
SCALE: 1:100	SHEET NUMBER: 7 OF 8	JOB NUMBER: 0001	
DATE: 29.03.23	DRAWN: BOH		
ISSUE:	DATE:	DETAILS:	INITIALS:
A	29.03.23	WORKING DRAWING	BOH
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ROOFING: COMPANY BRISTLE,  
PROFILE: SHINGLE,  
COLOR: CHARCOAL.



- CONCRETE ROOF TILE

BUILDERS WHITE



- EAVES LINING

BRICKS: TAWNY HERITAGE  
(COMPANY SELKIRK)



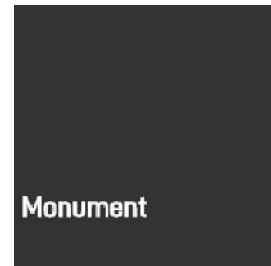
- FACE BRICKS

MERBAU STAINED FINISH



- FRONT DOOR

MONUMENT



- DOWNPIPES
- FASCIA
- GUTTER
- WINDOWS
- RENDER 1

COMPANY: GLIDEROLE,  
COLOR: CAOBA,  
PROFILE: MADISON.



- GARAGE DOOR

MONUMENT



- LETTER BOX

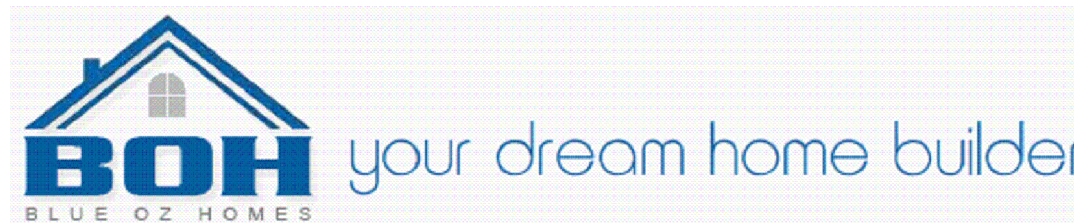
EXPOSED  
AGGREGATE (BLACK AND  
WHITE COLOR)



- EXPOSED AGGREGATE  
DRIVE WAY

## SCHEDULE OF MATERIALS & FINISHES

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	SCHEDULE OF MATERIALS		DATE: 29.03.23	DRAWN: BOH		
	PROPERTY ADDRESS: HOUSE - 6 LOT 20110 LASIO WAY, DONNYBROOK, VIC, 3064.		ISSUE:	DATE:	DETAILS:	INITIALS:
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