

General Notes (NCC 2022 Vol 2)

1. All materials and work practices shall comply with, but not limited to the Building Regulations 2018, National Construction Code Series 2022 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.
2. Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2022 Building Code of Australia Volume 2.
3. All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.
4. All Glazing shall be in accordance with part 8.3 of NCC 2022 VOL 2 # AS 1288-2021 WHERE IN
 - Windows glazing within 500mm of the floor level shall be 5mm thickened annealed
 - Glazed doors and associate side panels shall be 4mm toughened safety glass
 - Kitchen, Bathroom and Ensuite glazing within 2.0m of the finished floor or bottom of bath/shower base shall be 3mm toughened safety glass
 - Shower screens shall be grade a safety glass
5. Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with part 10.2 of the NCC 2022 VOL 2 # AS 3740-2021: Waterproofing of Domestic Wet Areas.
 - These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.
 - Step sizes (other than for spiral stairs) to be:
 - › Risers (R) 190mm maximum and 115mm minimum
 - › Going (G) 355mm maximum and 240mm minimum
 - › 2R + 1G = 700mm maximum and 550mm minimum
 - › with less than 125mm gap between open treads.
8. All treads, landings and the like to have a slip-resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
9. Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tensioned wire barriers) to be:
 - › 1000mm min. above finished surface level of balconies, landings or the like, and
 - › 865mm min. above finished surface level of stair nosing or ramp, and
 - › vertical with less than 125mm gap between, and
 - › any horizontal element within the barrier between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.

- Wire barrier construction to comply with Part 11.3 THE ncc 2022 vol2
10. Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps
 11. Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.

Where the building (excludes a detached Class 10) is located in a termite prone area the building is to be provided with a termite management system.
 12. Concrete stumps:
 - › up to 1400mm long to be 100mm x 100mm (1 No. H.D. Wire)
 - › 1401mm to 1800mm long to be 100mm x 100mm (2 No. H.D. Wires)
 - › 1801mm to 3000mm long to be 125mm x 125mm (2 No. H.D. Wires)
 - › 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.
 13. Buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS 4773.1-2015 'Masonry in small buildings' Part 1: Design.
 14. All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.
 15. These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/ details and with any other written instructions issued in the course of the contract.
 16. Site plan measurements in metres - all other measurements in millimetres unless noted otherwise.
 17. Figured dimensions take precedence over scaled dimensions.
 18. The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
 19. The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.
 20. Installation of all services shall comply with the respective supply authority requirements.
 21. The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/ or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
 22. These plans have been prepared for the exclusive use by the Client of [Insert Drafting Service] ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.

23. A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.
24. The Client and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of [building designer's name] except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to [building designer's name].
25. The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.
26. STORMWATER 100 mm DIA. Class G UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction.
 - › The cover to underground stormwater drains shall be not less than
 - › 100mm under soil
 - › 50mm under paved or concrete areas
 - › 100mm under unreinforced concrete or paved driveways
 - › 75mm under reinforced concrete driveways
27. SITE ENVIRONMENT DESIGN INFORMATION (if applicable)
 - › Site Bushfire Attack Assessment (simplified method)
 - i. Reference document 'AS 3959-2018 construction of buildings in bush fire prone areas'
 - ii. Relevant Fire Danger Index (FDI)-
 - iii. Predominate vegetation:- Classification
 - iv. Type
 - v. Distance of site from predominate vegetation-
 - vi. Effective slope of land-
 - vii. Determination of Bushfire attack Level (BAL)-
28. Site Classification (if Applicable)
 - › Site classification as Class:
 - › Refer to soil report No:
 - › By:
29. Design Gust Wind Speed / Wind Classification
 - › Building tie-downs to be provided in accordance with AS1684-2021 for an assumed design gust wind speed / wind classification of N1/N2 (subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to AS1684 for construction requirements.
30. Climate Zone Climate zone for thermal design / thermal performance assessment: Zone G # 7
31. Corrosion protection of built-in structural members
 - › Provide corrosion protection of built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with Table 4.1 of AS4773.1-2015 Masonry in Small Buildings, Part 1: Design suitable for an Environment Classification of [Insert environment classification]

32. Corrosion protection for sheet roofing

Provide for sheet roofing in accordance with AS 1562.1-2018 # Metal roof battens with part 7.2 of the NCC 2022 VOL 2

SEE 6 STAR REQUIREMENTS/NOTES OR ENERGY EFFICIENCY REPORT
 35. Thermal insulation must comply with as/nzs 4859-2018 and be installed as per part 13.2 the NCC 2022 VOL 2 Thermal insulation requirements to be determined the energy rating report.
 36. Where a pliable building membrane is installed on the exterior side of the insulation layer of an external wall it must be in accordance with part 10.8 of NCC 2022 VOL2
 38. Tiles to overhang the fascia/tiling batten by not less than 35mm
- All works shall comply with not to be limited to the following Australian standards
- AS 1288-2021 GLASS IN BUILDINGS-SELECTION AND INSTALLATION
 - AS 1562.1-2018 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING- METAL
 - AS 1684-2021 NATIONAL TIMBER FRAMING CODE
 - AS 1860-2006 RESIDENTIAL TIMBER FRAMING CODE
 - AS 2047-2014 WINDOWS IN BUILDINGS-SELECTION AND INSTALLATION
 - AS 2049 - 2002 ROOF TILES
 - AS 2050-2018 INSTALLATION OF ROOFING TILES
 - AS 2870-2011 RESIDENTIAL SLABS AND FOOTINGS CONSTRUCTION
 - AS 2904- 1995 DAMP PROOF COURSES AND FLASHINGS
 - AS 3600-2018 CONCRETE STRUCTURES
 - AS 3660.1-2014 PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES PART 1 NEW BUILDING
 - AS 3700-2018 MASONRY STRUCTURES
 - AS 3740-2021 WATER PROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
 - AS 3786-2014 SMOKE ALARMS
 - AS 4100-2020 STEEL STRUCTURES

NOTES:
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
 WINDOW SIZES SHOWN ARE SUPPLIERS FRAME SIZES.
 ALL GLAZING TO COMPLY WITH A.S. 1288-2021 & AS 2047-2014 GLASS IN BUILDINGS, & WITH A.S. 4055-2012 FOR WINDLOADING.
 WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS U.N.O.
 GARAGE ROOF TO BE TIED DOWN MIN. 1200 INTO BRICKWORK WITH HOOP IRON STRAPS.
 ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH PART 10.4.2 OF THE NCC 2022 VOL 2

DRAFTSPERSON; SEEMA AFTAB
 DP-AD 68552

REVISED	SHEET CONTENT:		SCALE: AS SHOWN	SHEET NUMBER: 1 OF 9	JOB NUMBER: 0001	
	GENERAL NOTES		DATE: 23.11.23	DRAWN: XX		
	PROPERTY ADDRESS: LOT 253 SIMMENTAL ROAD, MASON QUARTER, WOLLERT, VIC. 3750		ISSUE:	DATE:	DETAILS:	INITIALS:
	CLIENT: XXXX		D	29.11.23	WORKING DRAWING REV 3	XX
	WORKING DRAWING	E	15.12.23	WORKING DRAWING REV 4	XX	
		F	20.12.23	WORKING DRAWING REV 5	XX	
		G	12.01.24	WORKING DRAWING REV 6	XX	
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		I	29.01.24	WORKING DRAWING REV 9	XX	
		K	02.02.24	WORKING DRAWING REV 10	XX	
		L	05.02.24	WORKING DRAWING REV 11	XX	

NOTE:
ROOF DESIGN SHOWN FOR GUIDE PURPOSES ONLY, SEE THE ROOF MANUFACTURERS DRAWINGS FOR EXACT DESIGN.

NOTE:
DRAINAGE GUIDE SHOWN IS FOR ROOF DRAINAGE ONLY, ALL SITE DRAINAGE AS PER PLUMBER & BUILDERS DESIGN. BUILDING SURVEYOR TO CONFIRM.

NOTE:
SITE SCRAPE BUILDING AREA TO REMOVE EXCESS VEGETATION & PROVIDE LEVEL BUILDING PLATFORM BUILDER TO VERIFY.

LANDSCAPING:
LANDSCAPING TO COMPLY WITH DEVELOPER GUIDELINES & TO BE COMPLETED BY CLIENT AFTER HANDOVER.

NOTE:
CONCRETE/BUILDER TO MAKE SURE THAT A MIN. 385MM TO BE EXCAVATED BELOW FLOOR LEVEL IN RESIDENCE & GARAGE FOR A WAFFLE SLAB. CHECK ON SITE BEFORE COMMENCING.

LEVELS:
ALL LEVEL & FINISHED FLOOR LEVELS AREA TAKEN FROM ENGINEERING PLAN PROVIDED BY THE COUNCIL STORMWATER INFORMATION CERTIFICATE, BUILDER IS TO VERIFY ON SITE ALL LEVELS PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS. NEW LEVELS SHOULD BE DONE TO DETERMINE NEW SITE CONDITIONS

STORMWATER POINT:
STORMWATER POINT TO BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS. STORMWATER LAYOUT AS PER PLUMBERS & BUILDERS DESIGN & TO BE CONFIRMED ON SITE BY THE PLUMBER & BUILDER.

NOTE:
ALL SURROUNDING SURFACES ARE TO BE GRADED AWAY FROM THE BUILDING TOWARDS A SUITABLE DRAINAGE FACILITY. TO AVOID ANY LOCAL DAMMING OR PONDING BUILDING SURVEYOR IS TO CHECK AND VERIFY THAT NO SERVICES ARE PLACED WITHIN 45 DEGREE OF REPOSE TO PROPERTY FOOTINGS. NEW FOOTINGS ARE NOT UNDERMINE EXISTING FOOTINGS AND ARE TO MATCH THE DEPTH OF THE EXISTING FOOTINGS, WHERE APPROPRIATE.

NOTE:
INSTALL SURFACE SPOON DRAINS AND CUT - OFF DRAINS UP SLOPE OF THE BUILDING SITE TO INTERCEPT AND CHANNEL BOTH RUN - OFF AND SHALLOW GROUNDWATER SEEPAGE AWAY FROM THE SITE CUTS AND FOUNDATIONS. CUT OFF DRAINS SHOULD PENETRATE 50mm BELOW THE UPPER CLAY SURFACE. BUILDER TO BE VERIFY ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.

NOTE:
ALL CUT AND FILL SHOULD BE BATTERED OR RETAINED PROPERLY AS A GENERAL RULE, BATTERS OF 45 DEGREES TO THE HORIZONTAL FOR CLAYS AND 30 DEGREES TO THE HORIZONTAL FOR SANDS SHOULD BE ADOPTED. WHERE THIS IS NOT POSSIBLE OR DESIRED ENGINEER DESIGNED RETAINING WALLS SHOULD BE USED. WHERE SITES ARE PRONE TO LANDSLIPS, A LANDSLIP ASSESSMENT SHOULD BE CARRIED OUT.

NOTE:
COMPLETE ACCURACY OF THIS PLAN IS NOT GUARANTEED. DETAILS SHOWN SHOULD BE CHECKED AND PROVED ON SITE BEFORE ANY WORK IS CARRIED OUT. ALL UTILITY AUTHORITIES SHOULD BE CONTACTED REGARDING THE EXISTENCE OF ANY UNDERGROUND SERVICE ON SITE AND SURROUNDING THE SITE.

TERMITE NOTE:
A TERMITE BARRIER TO BE INSTALLED TO MINIMISE THE RISK OF TERMITE ATTACK TO PRIMARY BUILDING ELEMENTS IN ACCORDANCE WITH A33660.1 A DURABLE NOTICE MUST BE PERMANENTLY FIXED TO THE BUILDING IN PERMANENT LOCATION, INDICATING THE FOLLOWING:
 • THE METHOD OF TERMITE RISK MANAGEMENT
 • THE DATE OF INSTALLATION OF THE SYSTEM
 • WHERE CHEMICAL BARRIER IS USED ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL REGISTRATION AUTHORITY LABEL
 • THE INSTALLER'S OR MANUFACTURER'S RECOMMENDATIONS FOR THE SCOPE & FREQUENCY OF FUTURE INSPECTIONS FOR TERMITE ACTIVITY.

NATIONAL BROADBAND NETWORK CO:
THIS IS A FIBRE OPTIC ESTATE: BROADBAND LEAD -IN CONDUIT IN ACCORDANCE WITH NBN CO.REQUIREMENTS.

NOTE:
RECYCLED WATER TO BE CONNECTED AND INSTALLED IN ACCORDANCE WITH THE RECYCLED WATER PLUMBING GUIDE, ISSUED BY THE PLUMBING COMMISSION, AS/NZS 3500 Plumbing Regulations. RECYCLED WATER MUST BE CONNECTED TO THE DWELLING AS PER DEVELOPERS GUIDELINES:
 - RECYCLED WATER RUN IN
 - CONNECTION OF RECYCLED WATER TO ALL APPLICABLE TOILET SUITES
 - 1 X RECYCLED WATER TAP TO REAR OF DWELLING
 - 1 X RECYCLED WATER CONNECTION TO LAUNDRY

DEVELOPER APPROVAL REQUIRED

SITING SUBJECT TO DEVELOPER APPROVAL

NOTE:
VAPOUR PERMEABLE MEMBRANE MUST BE INSTALLED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF A BUILDING IN ACCORDANCE WITH PART 10.8 OF NCC 2022 VOL 2

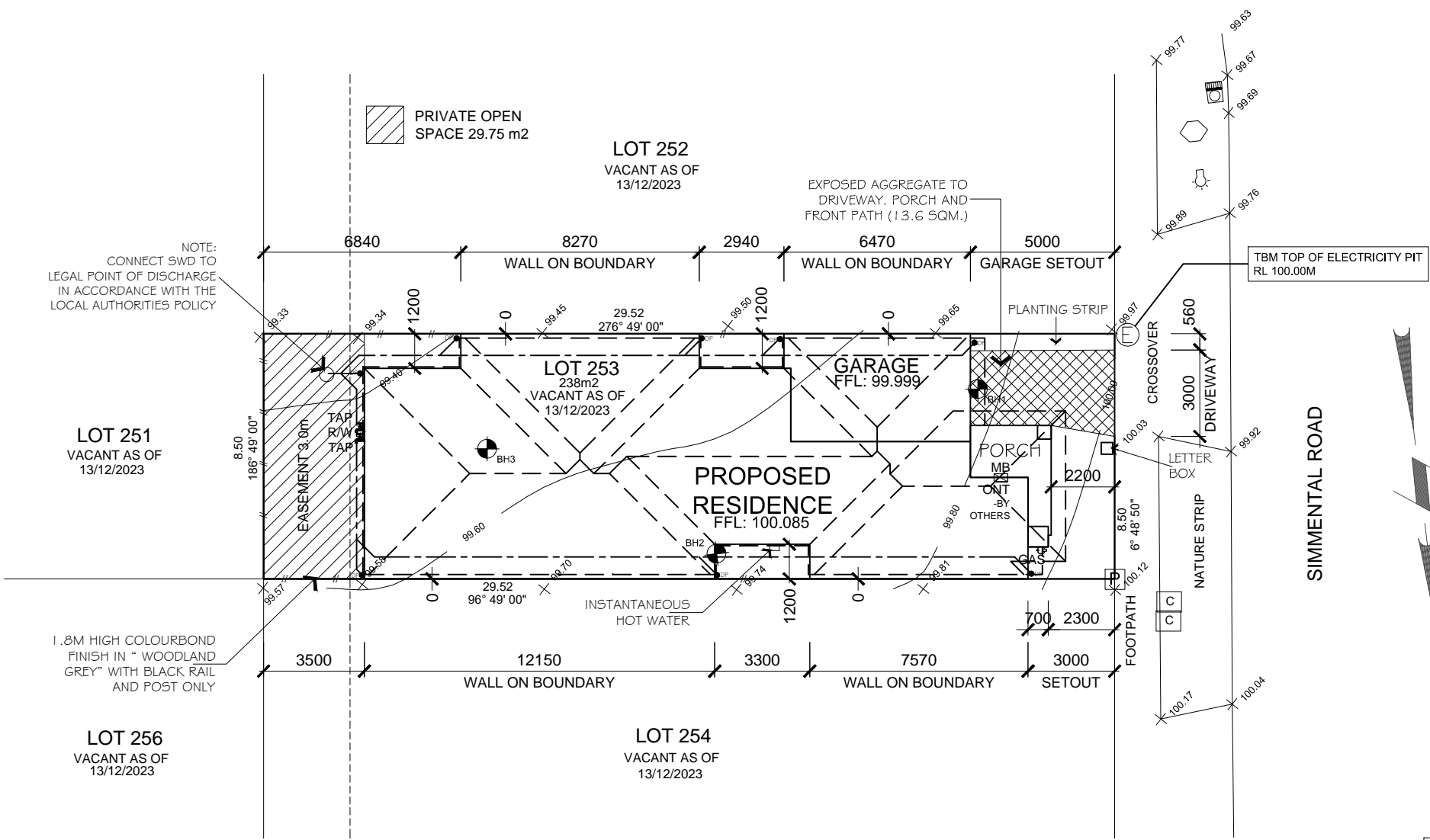
NOTE:
GARAGE EAVES WITHIN 450mm OF THE TITLE BOUNDARY MUST HAVE A 16mm PYRCHek TO THE UNDERSIDE OF THE EAVE & TO THE SIDE FACEBORD TO ACHIEVE FIRE RATING WITH FRL OF 60/60/60

SOIL CLASSIFICATION : "H2"

JOB NO : 250156
 BY : GEOHUB GEOTECHNICAL
 DATE : 13/12/2023

SITE PARTICULARS	YES	NO
EASEMENT 3.0m TO REAR	✓	
ADJOINING PROPERTIES		✓
CROSSOVER LOCATIONS R/H SIDE	✓	
BUILDING ENVELOPE ON PROPERTY		✓
BUSHFIRE CONSTRUCTION PROPERTY		✓
TERMITE CONSTRUCTION PROPERTY	✓	
ESTATE: MASON QUARTER		

SMALL LOT TYPE A:



NOTE:
ALL SURFACES AROUND THE HOUSE NEEDS TO BE SLOPED AWAY

NOTE:
TEMPORARY DOWN PIPES DURING CONSTRUCTION CONNECTION TO UNDERGROUND STORM WATER SYSTEM.

NOTE:
STORM WATER DRAINAGE SHALL COMPLY WITH A53500-2021 & 10.7.4 OF NCC 2022 VOL2

NOTE:
THERE IS NO WALL MOUNTED AIR CONDITIONING UNIT

NOTE:
-ROOF STORMWATER TO BE ACCORDANCE WITH A5 3500
- 90mm DIA DOWNPIPES

NOTE:
EAVES WITHIN 450mm OF THE ALLOTMENT BOUNDARY MUST ACHIEVE AN FRL OF 60/ 60/ 60

NOTE:
MINIMUM GARDEN AREA OF 25% AS LAND SIZE FALLS B/W 400-500M IN ACCORDANCE WITH REGULATION 76A OF BUILDING 2018.

TOTAL HOUSE AREA

TOTAL HOUSE AREA	181.14 m ²
SITE AREA	238.0 m ²
SITE COVERAGE	76.11%
PAVING	30.00
PERMEABLE COVERAGE	11.29%

SITE PLAN

NOTES:
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 ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH PART 10.4.2 OF THE NCC 2022 VOL 2

DRAFTSPERSON; SEEMA AFTAB
 DP-AD 68552

SHEET CONTENT:
SITE PLAN

PROPERTY ADDRESS:
 LOT 253 SIMMENTAL ROAD,
 MASON QUARTER, WOLLERT, VIC. 3750

CLIENT:
 XXXX

WORKING DRAWING

ISSUE:	DATE:	DETAILS:	INITIALS:
D	29.11.23	WORKING DRAWING REV 3	xx
E	15.12.23	WORKING DRAWING REV 4	xx
F	20.12.23	WORKING DRAWING REV 5	xx
G	12.01.24	WORKING DRAWING REV 6	xx
H	25.01.24	WORKING DRAWING REV 8	xx
I	29.01.24	WORKING DRAWING REV 9	xx
K	02.02.24	WORKING DRAWING REV 10	xx
L	05.02.24	WORKING DRAWING REV 11	xx

SCALE: 1:200
 SHEET NUMBER: 2 of 9
 JOB NUMBER: 0001
 DATE: 23.11.23
 DRAWN: XX

NOTE:
IT IS BUILDER RESPONSIBILITY TO ESTABLISH THE FINISHED FLOOR LEVELS & FINISHED WALL HEIGHTS IN RELATION TO THE RELEVANT GROUND LEVELS DURING SETOUT & BEFORE ANY EXCAVATION WORKS ARE UNDERTAKEN SO AS TO ENSURE THAT ALL DESIGN ASSUMPTIONS ARE FULLY REALIZE IN PRACTICE & COMPLY WITH THE RELEVANT BUILDING CODES & SITTING REQUIREMENTS.

NOTE:
USUALLY A SECTIONAL DETAIL IS SHOWN, SHOWING THE DAMP PROOF COURSE TERMINATING BELOW THE INTERNAL FLOOR LEVEL, AND A MIN 100MM ABOVE EXTERNAL SURFACE. ALSO THIS SECTION WOULD HAVE A NOTE STATING "SURFACE AROUND THE PERIMETER OF DWELLING TO BE GRADED AWAY AT 25MM OVER THE FIRST METRE". THIS SAVE A HEAP OF HEADACHES AT THE END OF THE JOB, WHERE THE WEEP HOLES DON'T HAVE ENOUGH CLEARING, AND THE SURFACE AROUND THE DWELLING HAS NO FALL.

NOTE:
PROVIDE WEEPHOLES @ 960mm MAX. CENTERS WITH CONTINUOUS FLASHING WHERE THE BRICKWORK EXTENDS OVER THE OPENING.

NOTE:
WEEP HOLES @ 1.2 METRE SPACING AND ABOVE WINDOWS MORE THAN 1.0 METRE WIDE.

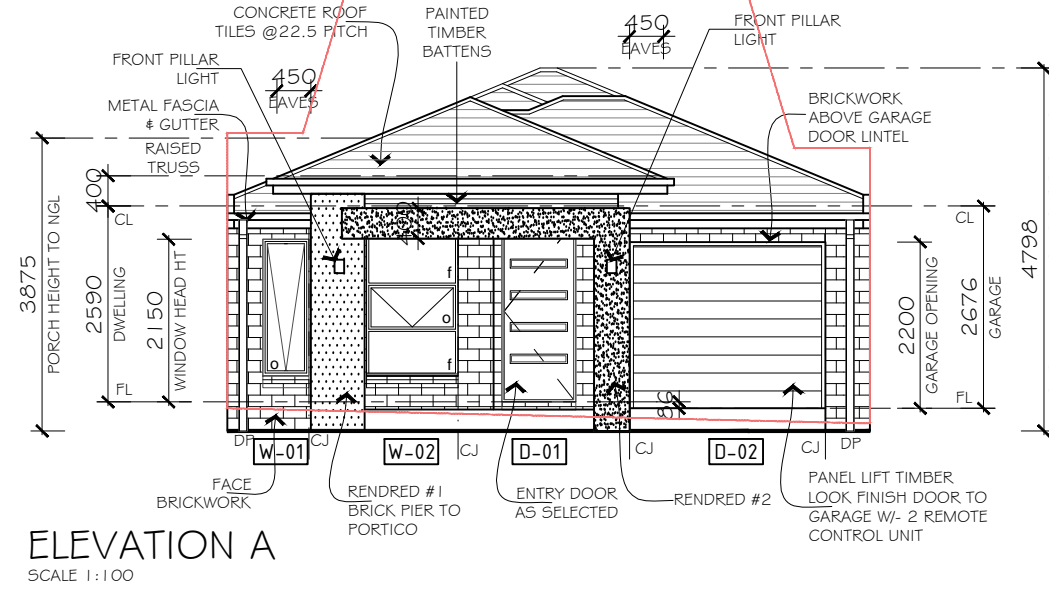
NOTE:
ROOF DESIGN SHOWN FOR GUIDE PURPOSES ONLY, SEE THE ROOF MANUFACTURERS DRAWINGS FOR EXACT DESIGN.

NOTE:
WHERE CONSTRUCTION JOINTS ARE ADJACENT TO A DOOR OR OPENING, THE ARTICULATION JOINTS ARE TO EXTEND ALONGSIDE THE OPENING.

NOTE:
STEP DOWN NOT EXCEED 230mm FOR (L'DRY DOOR, REAR SLIDING DOOR & FRONT DOOR)

FRONT FACADE CALCULATIONS

RENDER	4.75 m ²	40.08 %
TIMBER	0.64 m ²	5.40 %
BRICK (WALL)	6.46 m ²	54.51 %
TOTAL FRONT WALL (EXCLUDING OPENINGS)	11.85 m ²	100.00 %

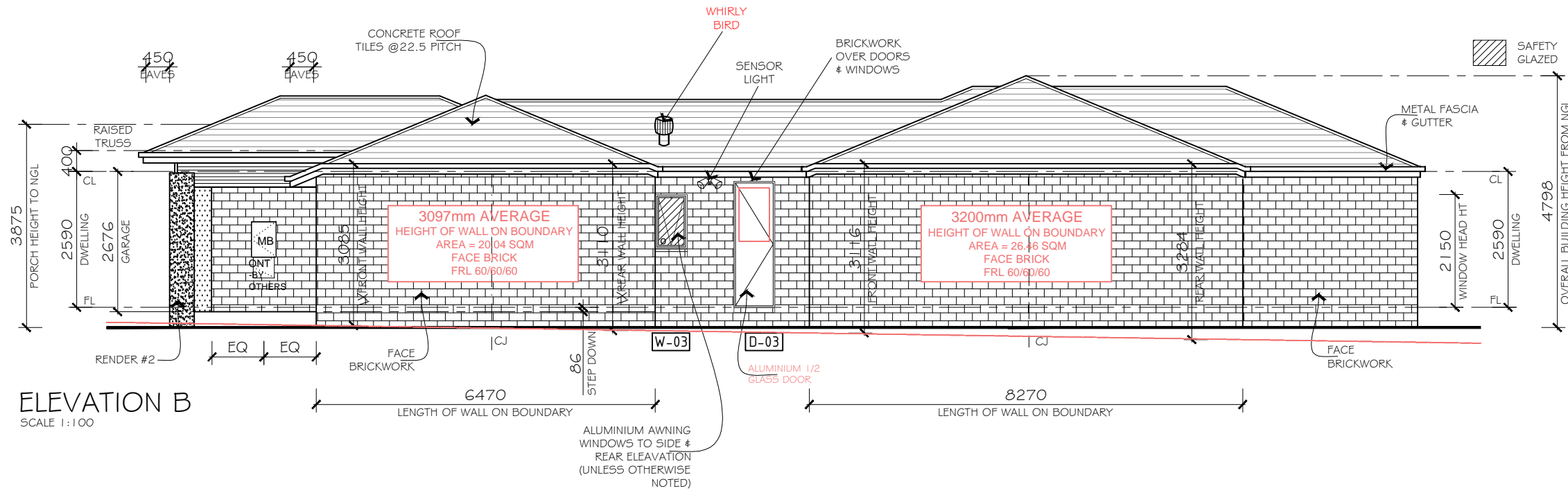


ELEVATION A
SCALE 1:100

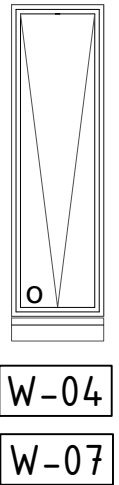
WINDOW & DOOR SCHEDULE

All lintel sizes to be checked and compared with engineer's specifications/size recommendations

WINDOW NO	HEIGHT	WIDTH	QTY.	NOTES:
1	1800	610	1	Aluminium frame awning window
2	1800	1210	1	Aluminium frame awning window
3,4,6	1027	610	3	Aluminium frame awning window (obscure safety glass)
4,7	2060	610	2	Aluminium frame awning window
5	1800	610	1	Aluminium frame awning / fix window
DOOR NO.	HEIGHT	WIDTH	QTY.	NOTES:
1	2340	920	1	Designer 920 entry door
2	2200	2600	1	Panel lift garage door
3	2340	720	1	External 720 door
4	2400	2410	1	Aluminium sliding door
5	2340	820	1	External 820 door
NOTE:				Alternative timber lintels in F27 seasoned hardwood as per AS 1684.
All Glazing to comply with AS-1288-2006				



ELEVATION B
SCALE 1:100



ELEVATIONS

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ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH PART 10.4.2 OF THE NCC 2022 VOL 2

DRAFTSPERSON; SEEMA AFTAB
DP-AD 68552

SHEET CONTENT:	ELEVATIONS: A & B
	PROPERTY ADDRESS: LOT 253 SIMMENTAL ROAD, MASON QUARTER, WOLLERT, VIC. 3750
	CLIENT: XXXX
	WORKING DRAWING

SCALE:	1:100	SHEET NUMBER:	4 OF 9	JOB NUMBER:	0001
DATE:	23.11.23	DRAWN:	XX		
ISSUE:	DATE:	DETAILS:	INITIALS:		
D	29.11.23	WORKING DRAWING REV 3	XX		
E	15.12.23	WORKING DRAWING REV 4	XX		
F	20.12.23	WORKING DRAWING REV 5	XX		
G	12.01.24	WORKING DRAWING REV 6	XX		
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K	02.02.24	WORKING DRAWING REV 10	XX		
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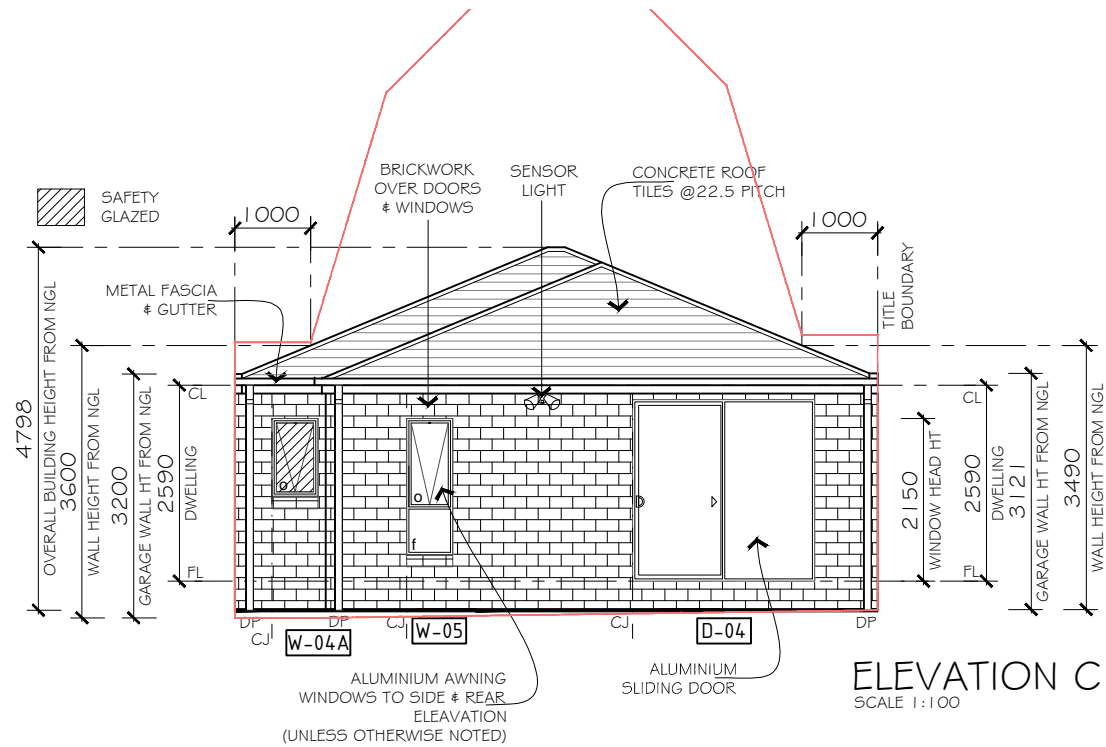
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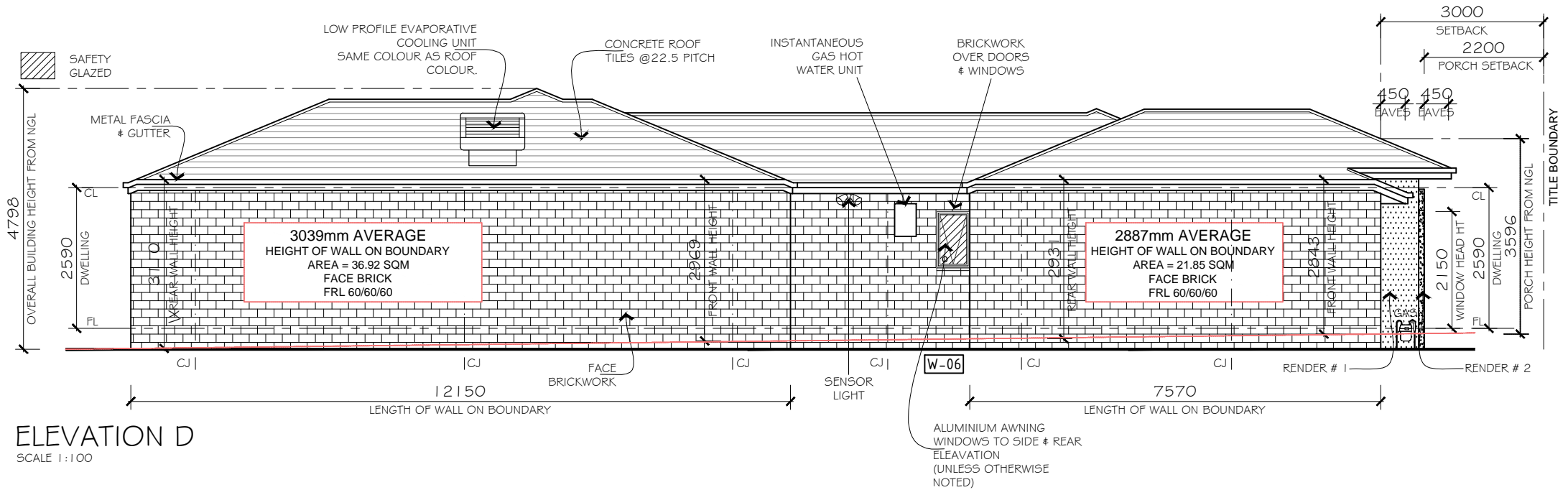
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NOTE:
STEP DOWN NOT EXCEED 230mm FOR (L'DRY DOOR, REAR SLIDING DOOR & FRONT DOOR)



ELEVATION C
SCALE 1:100



ELEVATION D
SCALE 1:100

ELEVATIONS

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DP-AD 68552

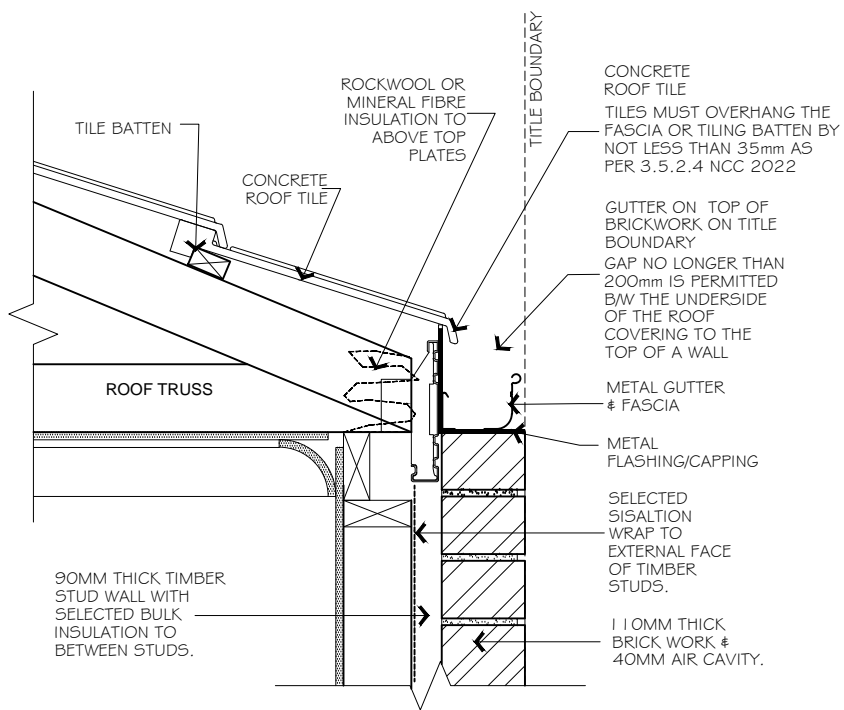
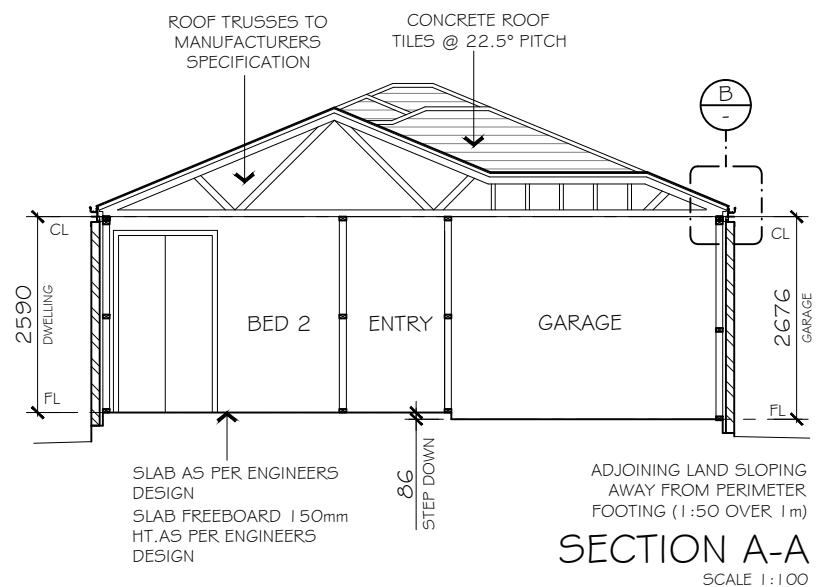
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	ELEVATIONS: C & D	DATE: 23.11.23	DRAWN: XX	
	PROPERTY ADDRESS: LOT 253 SIMMENTAL ROAD, MASON QUARTER, WOLLERT, VIC. 3750			
	CLIENT: XXXX			
	WORKING DRAWING			

ISSUE	DATE	DETAILS	INITIALS
D	29.11.23	WORKING DRAWING REV 3	XX
E	15.12.23	WORKING DRAWING REV 4	XX
F	20.12.23	WORKING DRAWING REV 5	XX
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I	29.01.24	WORKING DRAWING REV 9	XX
K	02.02.24	WORKING DRAWING REV 10	XX
L	05.02.24	WORKING DRAWING REV 11	XX

6 STAR REQUIREMENTS :

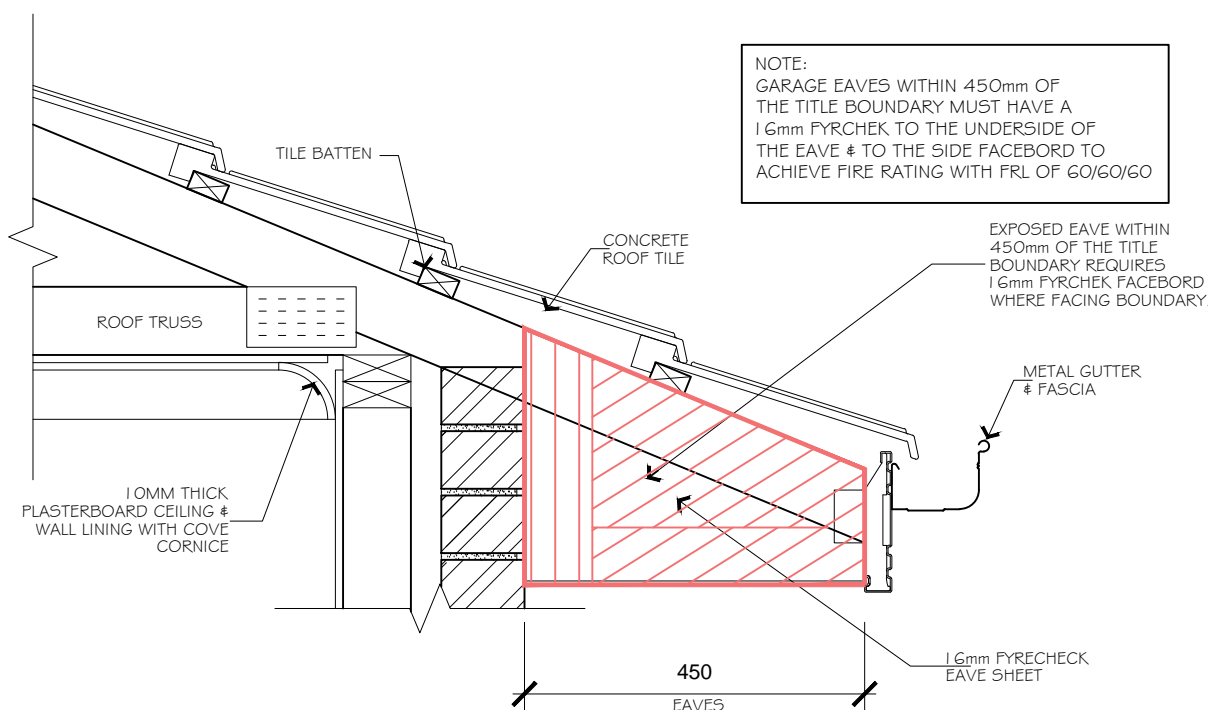
Below are the notes/requirements for 6 Stars:

- *Single glazed aluminium window and door frames throughout (Southern Star brand or equivalent). See NatHERS report for individual window values and codes
- *R3.0 insulation to the ceiling
- *R2.0 insulation batts (with reflective foil wrap - Emissivity = 0.56 or less) to external walls, including walls b/n house and Garage (without RFL). No insulation to external Garage walls
- *Polystyrene waffle pod slab construction
- *Self closing exhaust fans throughout, including heater/light/fan combination units (if present)
- *Draught seals to all external hinged doors
- *Where downlights are used, "Approved Non-Ventilated Covers" are to be installed to avoid insulation removal and minimise air infiltration.



B GARAGE GUTTER DETAIL
SCALE: 1:10 - GUTTER ON BRICKWORK

ACCORDANCE WITH FIGURE 7.2 OF NCC 2022 VOL 2



- FIRE RATED EAVE ON BOUNDARY DETAIL
SCALE: 1:10 - 450MM EAVES

- VENTILATION & INSULATION :
- PROVIDE THERMAL INSULATION ACCORDANCE WITH THE REQUIREMENTS OF 'BUILDING CODE OF AUSTRALIA' PART FG.2 TABLE F 6.1. NOTE THAT REFLECTIVE FOIL LAMINATE MUST COMPLY WITH AS 1904 & HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5.
 - MECHANICAL VENTILATION TO BE INSTALLED IN ACCORDANCE WITH PART 10.8.2 OF THE NCC 2022 VOL 2.
 - PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING OR 300mm WHERE IN TERMITE PRONE AREA.
 - SUB FLOOR VENTS TO PROVIDE A RATE OF 600mm SQ. CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL MASONRY WALL.
 - THERMAL INSULATION TO BE PROVIDED AS FOLLOWS FOR SLAB CONSTRUCTION. (REFER TO ENERGY RATING REPORT) R.F.L TO HAVE FLAMMABILITY INDEX NOT EXCEEDING 5.

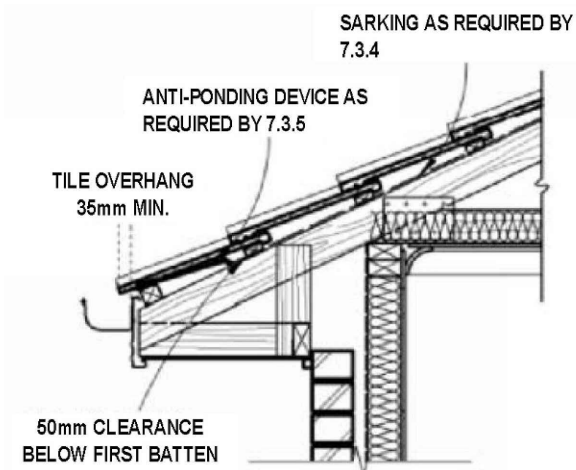


FIGURE 7.3.5 TYPICAL INSTALLATION OF ANTI-PONDING DEVICE BOARD

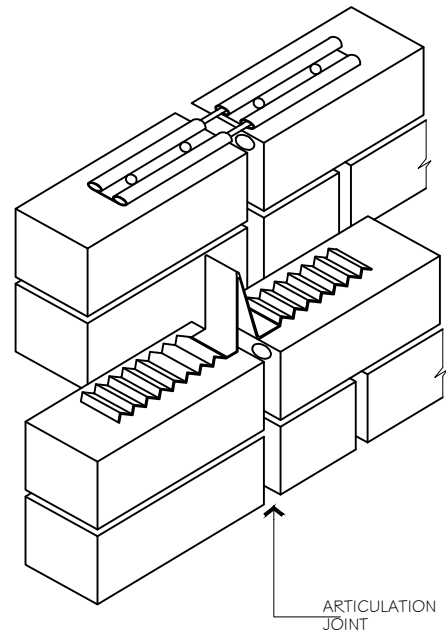
SECTION A-A & DETAILS

NOTES:
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
WINDOW SIZES SHOWN ARE SUPPLIERS FRAME SIZES.
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GARAGE ROOF TO BE TIED DOWN MIN. 1200 INTO BRICKWORK WITH HOOP IRON STRAPS.
ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH PART 10.4.2 OF THE NCC 2022 VOL 2

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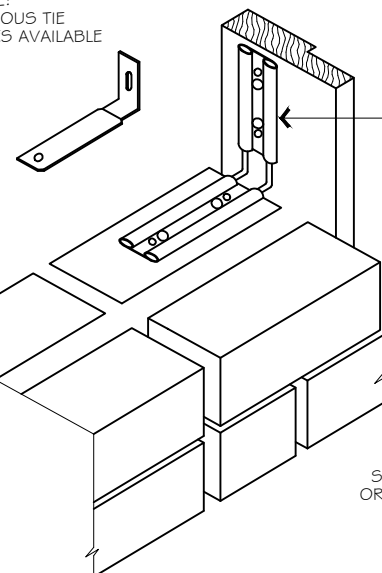
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SECTION A-A & DETAILS		DATE: 23.11.23	DRAWN: XX	
PROPERTY ADDRESS:		LOT 253 SIMMENTAL ROAD, MASON QUARTER, WOLLERT, VIC. 3750		
CLIENT: XXXX				
WORKING DRAWING				

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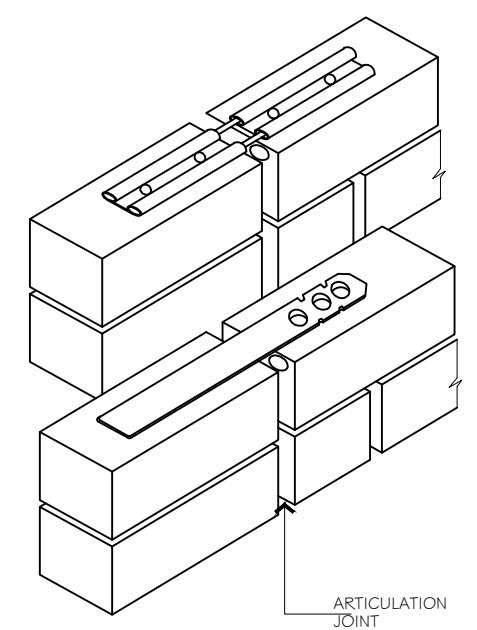


MASONRY EXPANSION (SLIDING / EXTENDABLE) TIES

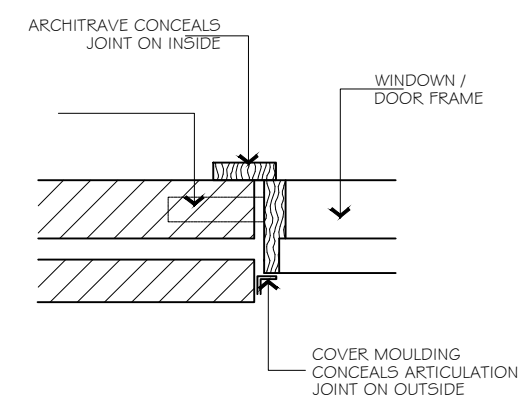
NOTE: VARIOUS TIE TYPES AVAILABLE



MASONRY EXPANSION TIE SCREWED TO WINDOW FRAME



ARTICULATION JOINT

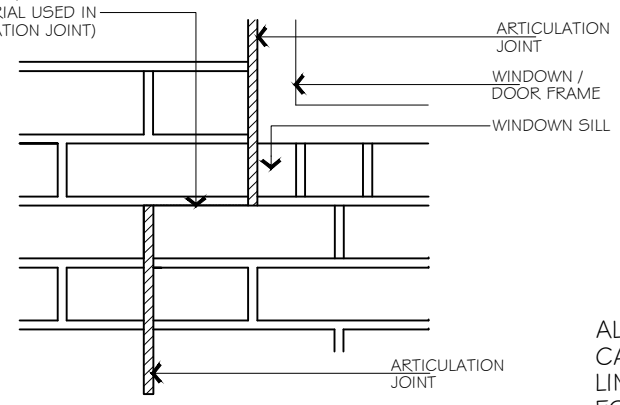


ARCHITRAVE CONCEALS JOINT ON INSIDE

WINDOW / DOOR FRAME

COVER MOULDING CONCEALS ARTICULATION JOINT ON OUTSIDE

SLIP JOINT (EG, TWO LAYERS OF DPC OR COMPRESSIBLE MATERIAL USED IN ARTICULATION JOINT)



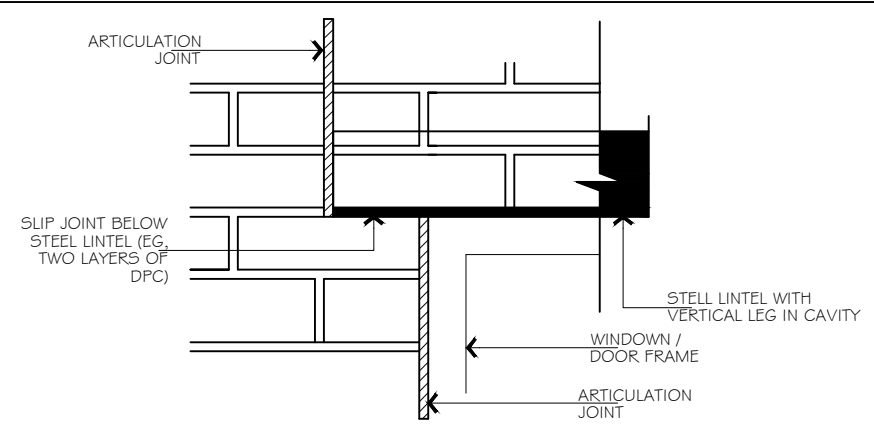
ARTICULATION JOINT

WINDOW / DOOR FRAME

WINDOW SILL

ARTICULATION JOINT

ALTERNATIVE IF ARTICULATION JOINT CANNOT BE OFFSET TO END OF STEEL LINTEL (SIMILAR DETAIL IS APPROPRIATE FOR PRE-STRESSED CONCRETE OR CLAY LINTELS)



ARTICULATION JOINT

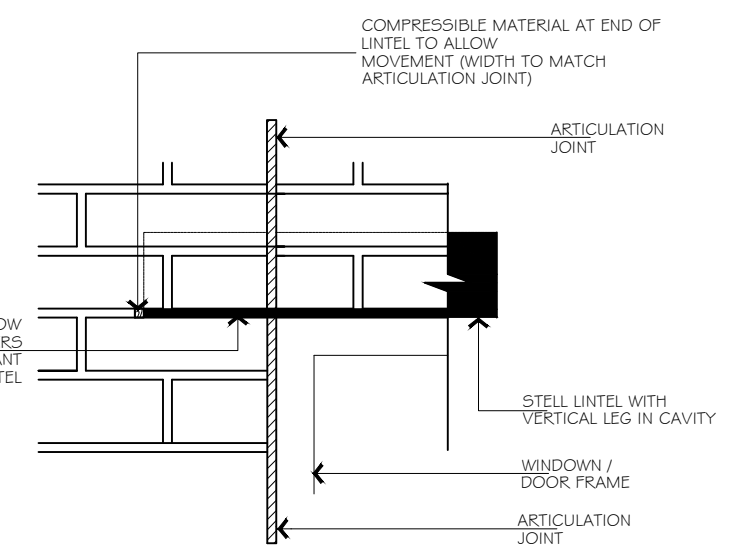
SLIP JOINT BELOW STEEL LINTEL (EG, TWO LAYERS OF DPC)

STEEL LINTEL WITH VERTICAL LEG IN CAVITY

WINDOW / DOOR FRAME

ARTICULATION JOINT

ARTICULATION JOINT OFFSET TO END OF STEEL (OR OTHER) LINTEL OVER OPENING (THIS DETAIL IS RECOMMENDED WHERE POSSIBLE TO ENSURE ARCHING OF MASONRY OVER OPENING)



COMPRESSIBLE MATERIAL AT END OF LINTEL TO ALLOW MOVEMENT (WIDTH TO MATCH ARTICULATION JOINT)

ARTICULATION JOINT

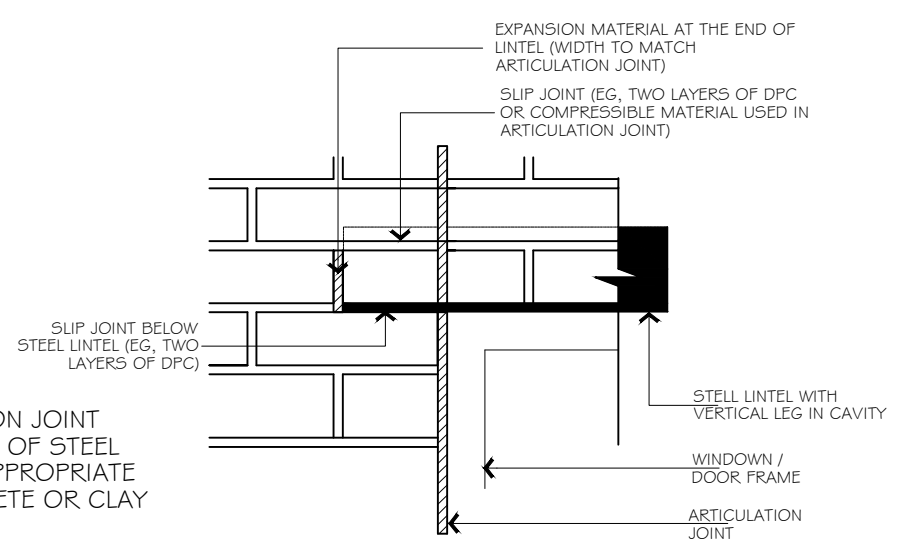
SLIP JOINT ABOVE & BELOW STEEL LINTEL (EG, TWO LAYERS OF DPC). PROVIDE SEALANT ALONG FRONT OF LINTEL

STEEL LINTEL WITH VERTICAL LEG IN CAVITY

WINDOW / DOOR FRAME

ARTICULATION JOINT

ALTERNATIVE IF ARTICULATION JOINT CANNOT BE OFFSET TO END OF STEEL LINTEL



EXPANSION MATERIAL AT THE END OF LINTEL (WIDTH TO MATCH ARTICULATION JOINT)

SLIP JOINT (EG, TWO LAYERS OF DPC OR COMPRESSIBLE MATERIAL USED IN ARTICULATION JOINT)

SLIP JOINT BELOW STEEL LINTEL (EG, TWO LAYERS OF DPC)

STEEL LINTEL WITH VERTICAL LEG IN CAVITY

WINDOW / DOOR FRAME

ARTICULATION JOINT

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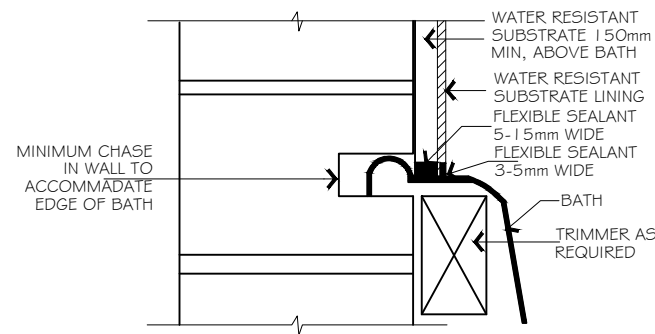
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 DP-AD 68552

P O R O U T	SHEET CONTENT:	SCALE: AS SHOWN	SHEET NUMBER: 6A of 9	JOB NUMBER: 0001
	SECTION & DETAILS	DATE: 23.11.23	DRAWN: XX	
	PROPERTY ADDRESS:	LOT 253 SIMMENTAL ROAD, MASON QUARTER, WOLLERT, VIC. 3750		
	CLIENT:	XXXX		
	WORKING DRAWING			

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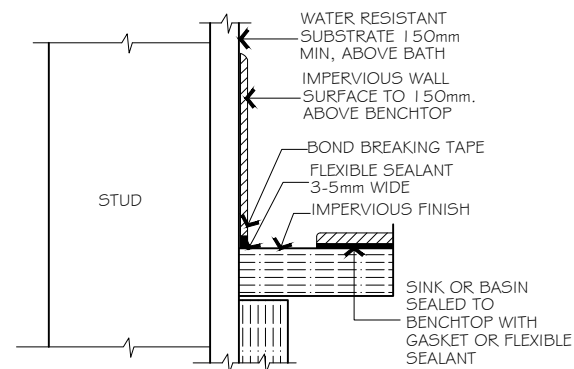
TYPICAL WALL AND BATH JUNCTIONS

MASONRY WALL JUNCTION

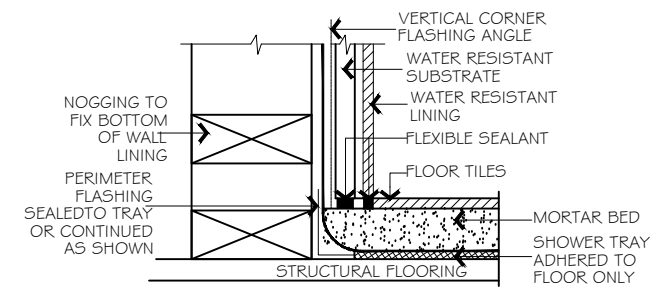


TYPICAL WALL WITH FIXTURES

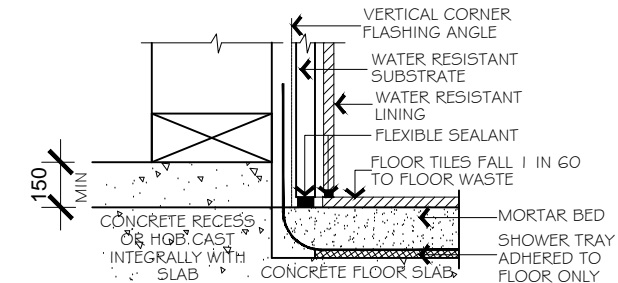
WALL AND BENCHTOP JUNCTION



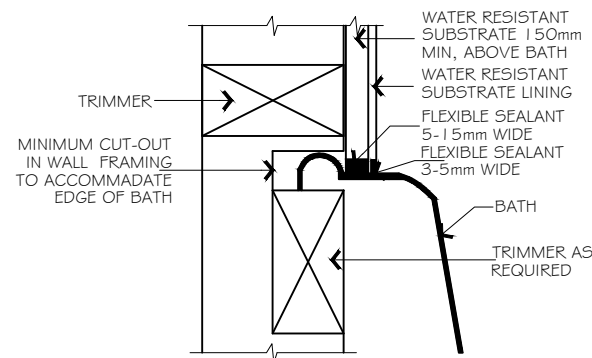
SHOWER TRAY ON TIMBER FLOOR



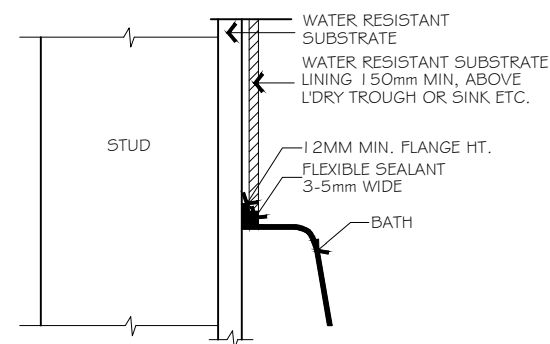
SHOWER TRAY ON CONCRETE FLOOR



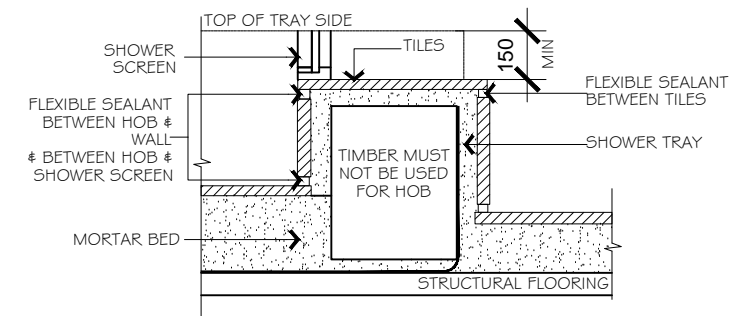
TIMBER WALL JUCTIONS



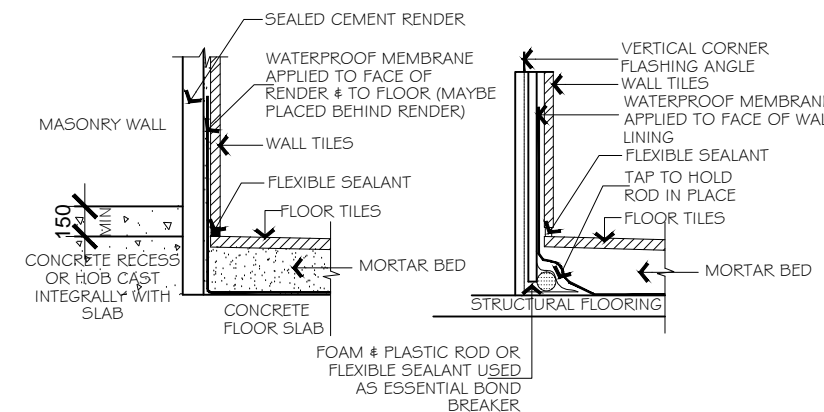
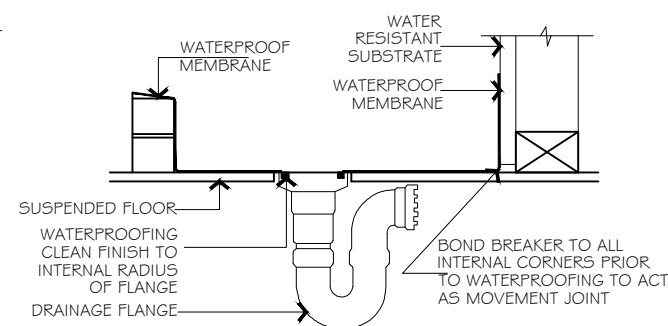
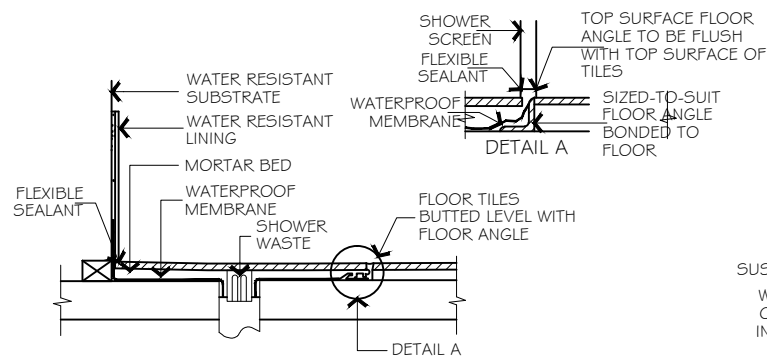
WALL & LAUNDRY SINK JUCTIONS



BRICK HOB INSIDE SHOWER TRAY



TYPICAL INSTALLATION OF WATER PROOFING MEMBRANE TO SHOWER FLOOR



SECTION & DETAILS

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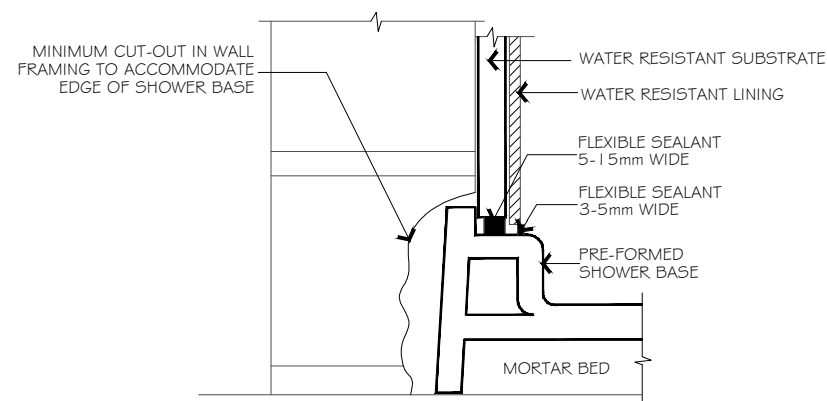
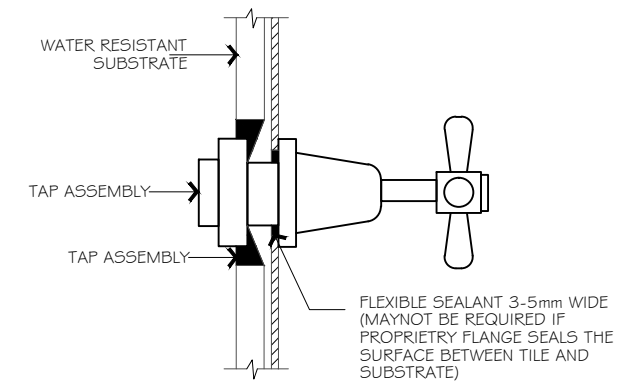
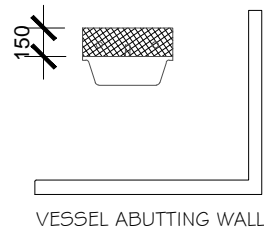
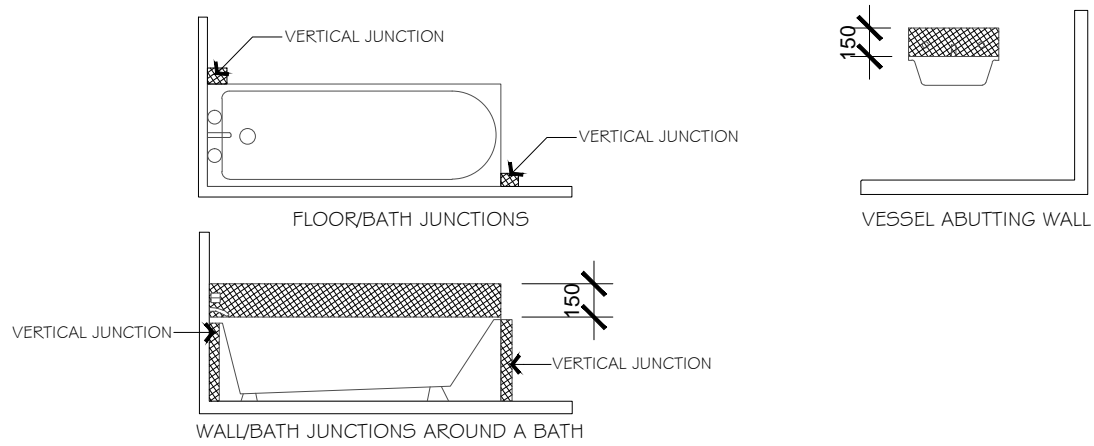
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P R O J E C T	SHEET CONTENT:	SCALE: AS SHOWN	SHEET NUMBER: 6B of 9	JOB NUMBER: 0001
	SECTION & DETAILS	DATE: 23.11.23	DRAWN: XX	
	PROPERTY ADDRESS: LOT 253 SIMMENTAL ROAD, MASON QUARTER, WOLLERT, VIC. 3750			
	CLIENT: XXXX			
	WORKING DRAWING			

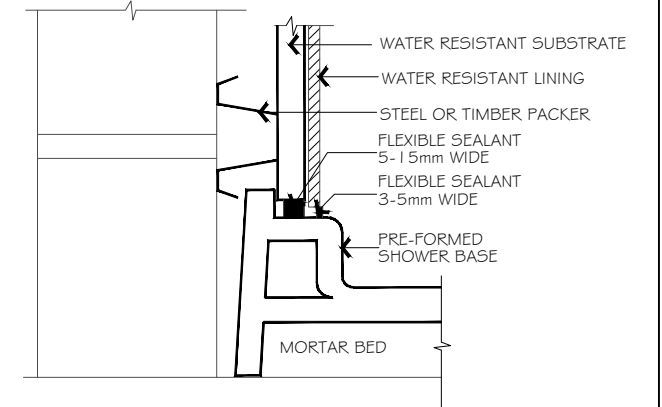
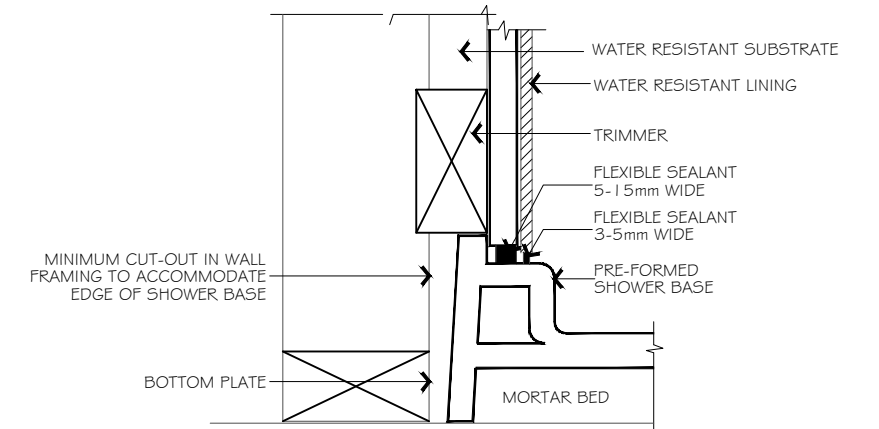
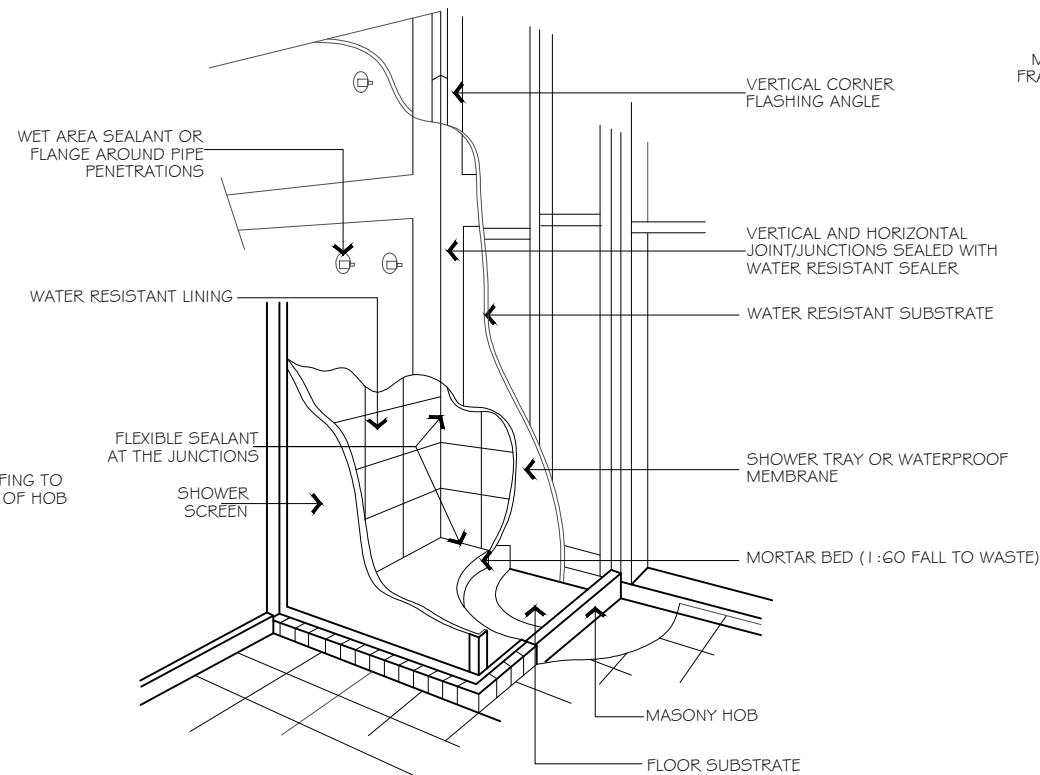
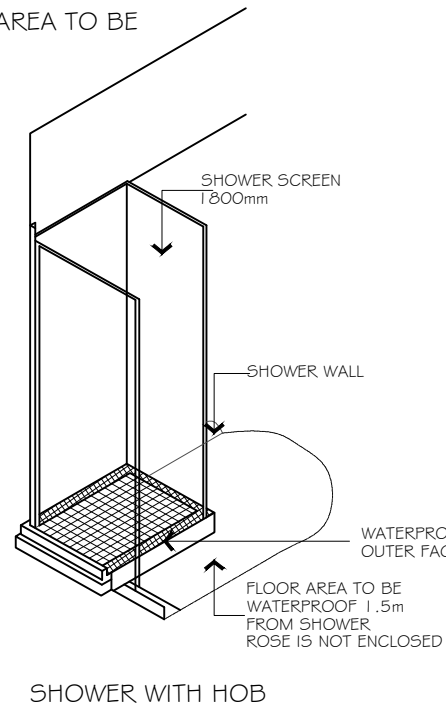
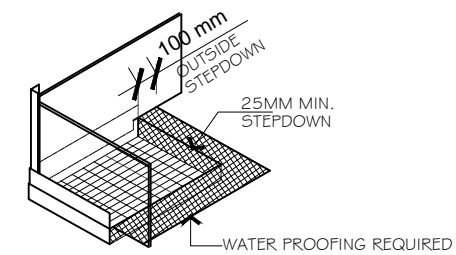
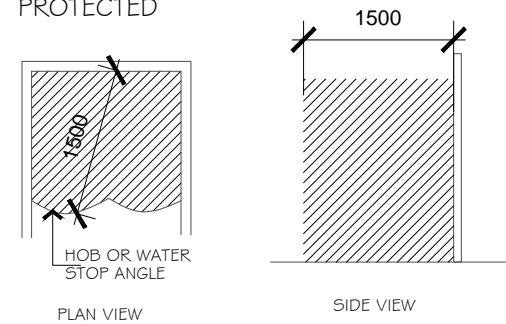
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L	05.02.24	WORKING DRAWING REV 11	XX

BATH AND WALL FIXTURES-AREA TO BE PROTECTED

Waterproofing to internal wet areas and bathrooms is to be in accordance with AS3740. Amend architectural drawings and provide relevant architectural specifications and details to confirm waterproofing systems to be adopted are to be provided, including water stop to shower cubical and the shower floor to have a max1:80 grade to the floor waste



ENCLOSED AND UNENCLOSED SHOWER-AREA TO BE PROTECTED



SECTION & DETAILS

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SCALE:	AS SHOWN	SHEET NUMBER:	6C of 9	JOB NUMBER:	0001
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LEGEND

- STANDARD BATTEN
- LED DOWNLIGHT (AS SELECTED)
- ⊗ CEILING EXHAUST FAN
- ⊗ SINGLE GPO - 300mm
- ⊗ SINGLE GPO - 1100mm
- ⊗ SINGLE GPO - 1350mm
- ⊗^{WP} DOUBLE GPO - EXTERNAL WEATHERPROOF
- ⊙ EXTERNAL LIGHT POINT
- ⊗^M SINGLE GPO - FOR MWAVE @ 750mm(h)
- ⊗^D SINGLE GPO - D/WASHER @ 750mm(h)
- ⊗ DOUBLE GPO - 300mm
- ⊗ DOUBLE GPO - 1100mm
- ⊗ DOUBLE GPO - 1350mm
- ▽ TELEVISION POINT
- SMOKE DETECTOR
- ⊗ FLOOD LIGHT - DOUBLE
- WALL LIGHT BATTEN HOLDER - EXTERNAL
- ⊕ CEILING HEATING DUCT (APPROX LOCATION)
- ⊖ EVAPORATIVE COOLING DUCT
- ⊕ THERMOSTAT
- ▲ POWER POINT FOR GARAGE REMOTE PANEL DOOR - LOCATE ON CEILING 3300mm FROM DOOR OPENING LINTEL & 200mm OFF DOOR CENTRE.
- ⊖ TP TERMINATION POINT
- ⊖ T TELEPHONE POINT
- ⊖ RA RETURN AIR
- ⊖ D DATA POINT

- ⊖ DH DUCTED HEATING UNIT LOCATION
- ⊖ MH ROOF ACCESS
- ⊖ DB DOOR BELL
- ⊖ AB ACP ALARM SYSTEM (WITH 3 SENSORS)
- ⊖ ACP ALARM SYSTEM (WITH 3 SENSORS)
- ⊖ A ALARM SENSOR
- ⊖ INT AUDIO VIDEO INTERCOM

PART 13.7.6 OF NCC 2022 VOL 2 ARTIFICIAL LIGHTING LAMP POWER DENSITY SHALL NOT EXCEED:
 5W/sq.m FOR CLASS 1 BUILDING
 4W/sq.m FOR VERANDAH, ALFRESCO, PORCH OR BALCONY
 3W/sq.m FOR CLASS 10a BUILDING PERIMETER LIGHTING TO BE CONTROLLED BY A SENSOR OR HAVE A MAXIMUM OF 40 LUMENS PER WATT.
 SMOKE DETECTORS TO BE INTERCONNECTED AS PER NCC 2022

ARTIFICIAL LIGHTING WATTAGE							
ROOM	AREA (m ²)	ALLOWABLE WATTAGE PER (m ²)	TOTAL ALLOWABLE WATTAGE	CURRENT TOTAL WATTAGE	CURRENT WATTAGE PER (m ²)		
PORCH/ALFRESCO	6.93	4 W/m ²	27.72 W	10 W	1.44 W/m ²		
GARAGE	23.59	3 W/m ²	70.77 W	11 W	0.47 W/m ²		
GROUND	150.62	5 W/m ²	753.10 W	323 W	2.14 W/m ²		
TOTAL	181.14			344 W	1.90 W/m²		

NOTE:
 EXHAUST FAN FLOW RATES AS PER CLAUSE 10.8.2 OF NCC 2022 VOL 2
 BATHROOM OR SANITARY COMPARTMENT - 25L/s
 KITCHEN OR L'DRY - 40L/s

NOTE:
 PROVIDE EXHAUST FANS, RANGEHOOD ETC, ARE TO VENT TO THE OUTSIDE ATMOSPHERE THROUGH ROOF VIA WHIRLY BIRD

NOTES:
 SMOKE ALARMS TO ALL BED ROOMS & CORRIDOR IN ACCORDANCE WITH PART 9.5 OF NCC 2022 VOL 2

NOTE:
 SMOKE DETECTORS: SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH AS 3786-2014. LOCATE A MIN 300mm FROM WALLS & DOORWAYS & BE HARDWIRED & INTERCONNECTED THROUGHOUT THE DWELLING

NOTE:
 ALL LIGHT SWITCHES ARE LOCATED 1050MM FROM FLOOR LEVEL UNLESS NOTTED OTHERWISE.

NOTE:
 PROVIDE EXHAUST FANS, RANGEHOOD ETC, ARE TO VENT TO THE OUTSIDE ATMOSPHERE.

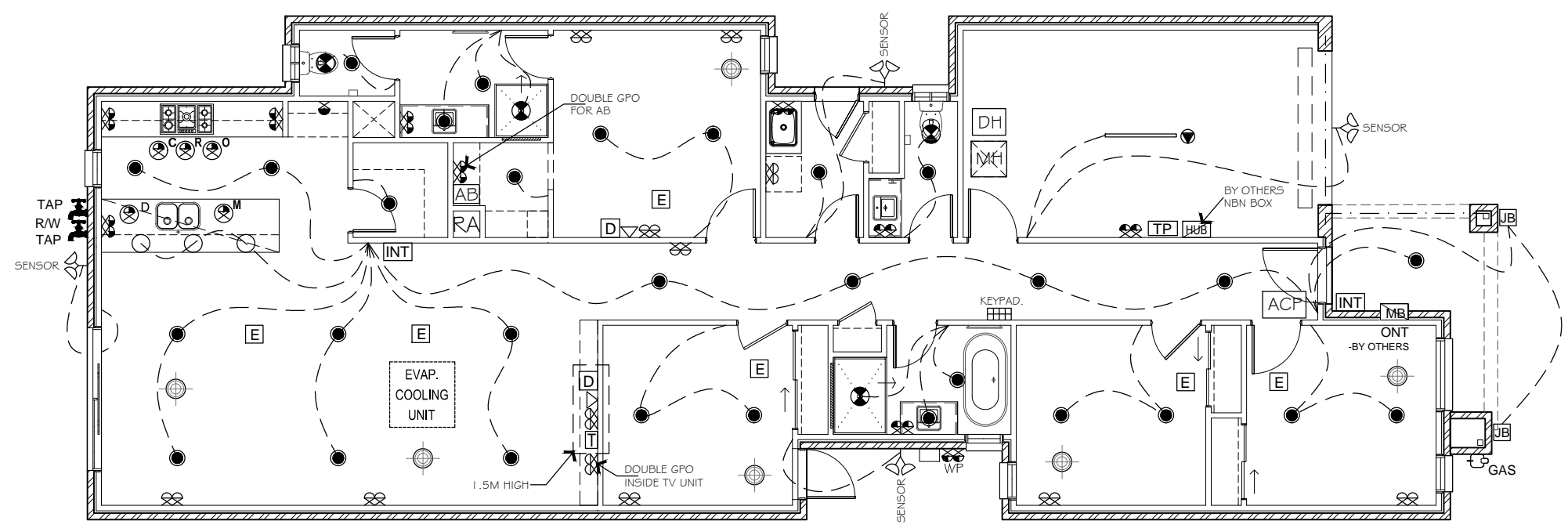
NOTE:
 HEATING & COOLING OUTLET LOCATIONS ARE IN APPROXIMATE POSITIONS ONLY & ARE SUBJECT TO VERIFICATION BY HEATING CONTRACTOR.

NOTE:
 ALL MECHANICAL VENTILATION MUST BE DISCHARGED TO THE OUTSIDE.

NOTE:
 THIS IS NBN ESTATE: ONT CONNECTION REQUIRED - BY OTHERS.

NOTE:
 PROVIDE SINGLE GPO AND BATTEN LIGHT TO ROOF SPACE - CLOSE TO MANHOLE

NOTE:
 SMOKE ALARMS ARE TO BE PROVIDED WITH A BATTERY BACK-UP AND TO BE HARDWIRED IN ACCORDANCE WITH NCC PART 9.5 OF THE NCC 2022 VOL 2



ELECTRICAL PLAN

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 ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH PART 10.4.2 OF THE NCC 2022 VOL 2

DRAFTSPERSON; SEEMA AFTAB
 DP-AD 68552

P O R T A L	SHEET CONTENT:	SCALE: 1:100	SHEET NUMBER: 7 OF 9	JOB NUMBER: 0001
	ELECTRICAL PLAN	DATE: 23.11.23	DRAWN: XX	
	PROPERTY ADDRESS:	LOT 253 SIMMENTAL ROAD, MASON QUARTER, WOLLERT, VIC. 3750		
	CLIENT:	XXXX		
	WORKING DRAWING			

ISSUE:	DATE:	DETAILS:	INITIALS:
D	29.11.23	WORKING DRAWING REV 3	XX
E	15.12.23	WORKING DRAWING REV 4	XX
F	20.12.23	WORKING DRAWING REV 5	XX
G	12.01.24	WORKING DRAWING REV 6	XX
H	25.01.24	WORKING DRAWING REV 8	XX
I	29.01.24	WORKING DRAWING REV 9	XX
K	02.02.24	WORKING DRAWING REV 10	XX
L	05.02.24	WORKING DRAWING REV 11	XX

SIDE, REAR & WING FENCE TO BE CONSTRUCTED AS PER DEVELOPERS GUIDELINES REQUIREMENTS & COMPLETED BY BUILDER

DRIVEWAY & FRONT PATH TO BE CONSTRUCTED OF EXPOSED AGGREGATE DRIVEWAY TO BE COMPLETED BY BUILDER & TO COMPLY WITH RELEVANT DESIGN GUIDELINES.

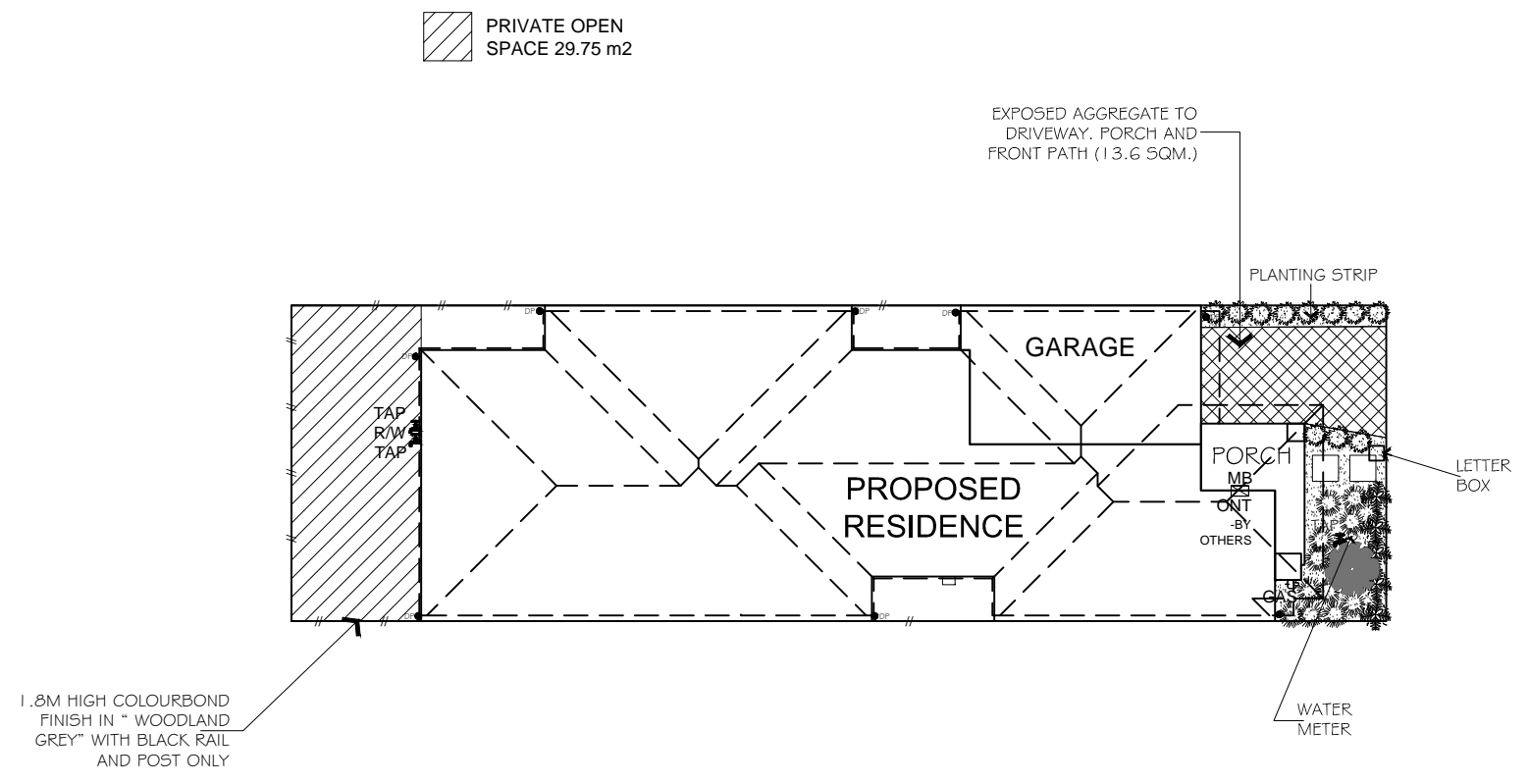
- LANDSCAPE**
- DENOTES PLAIN CONCRETE
 - DENOTES COLOURED CONCRETE
 - DENOTES DROUGHT TOLERANT PLANTS AND MULCH
 - DENOTES EXPOSED AGGREGATE

- PLANT SCHEDULE**
- PHORMIUM 'GREEN' PROPOSED GROUND COVER (150 pot size) - 20 NO.
 - WESTRINGIA FRUTICOSA (150mm POT SIZE) - 20 NO.
 - LITTLE GEM MAGNOLIA (2.0m TALL) - 2 NO.
 - BANKSIA "BIRTHDAY CANDLES" (200 POT SIZE) - 10 NO.



CONCRETE LETTER BOX

- LETTER BOX



LANDSCAPE PLAN (BY CLIENTS AFTER HAND OVER)

NOTES:
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
 WINDOW SIZES SHOWN ARE SUPPLIERS FRAME SIZES.
 ALL GLAZING TO COMPLY WITH A.S. 1288-2021 & AS 2047-2014 GLASS IN BUILDINGS, & WITH A.S. 4055-2012 FOR WINDLOADING.
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DRAFTSPERSON; SEEMA AFTAB
 DP-AD 68552

SHEET CONTENT:	
LANDSCAPE	
PROPERTY ADDRESS:	
LOT 253 SIMMENTAL ROAD, MASON QUARTER, WOLLERT, VIC. 3750	
CLIENT:	
XXXX	
WORKING DRAWING	

SCALE:	1:200	SHEET NUMBER:	8 OF 9	JOB NUMBER:	0001
DATE:	23.11.23	DRAWN:	XX		
REVISIONS	ISSUE:	DATE:	DETAILS:	INITIALS:	
	D	29.11.23	WORKING DRAWING REV 3	XX	
	E	15.12.23	WORKING DRAWING REV 4	XX	
	F	20.12.23	WORKING DRAWING REV 5	XX	
	G	12.01.24	WORKING DRAWING REV 6	XX	
	H	25.01.24	WORKING DRAWING REV 8	XX	
	I	29.01.24	WORKING DRAWING REV 9	XX	
K	02.02.24	WORKING DRAWING REV 10	XX		
L	05.02.24	WORKING DRAWING REV 11	XX		

COLOUR: CHARCOAL
RANGE: CLASSIC SHINGLE
COMPANY: BRISTILE



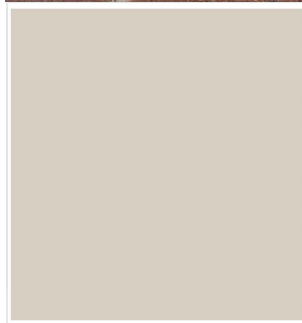
- CONCRETE ROOF TILE

IRONSTONE
(SELKIRK)



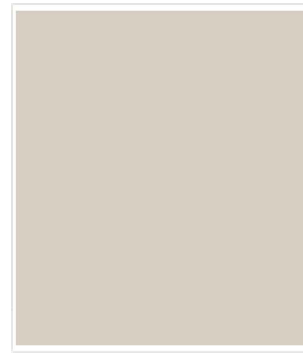
- FACE BRICKS

POLAR BEAR 2



- RENDER #1

POLAR BEAR 7



- RENDER #2

XN1
HUME DOOR
TRANSLUCENT GLASS



- FRONT DOOR

MONUMENT



- FASCIA / GUTTER
- DOWNPIPES
- ALUMINIUM FRAME WINDOW

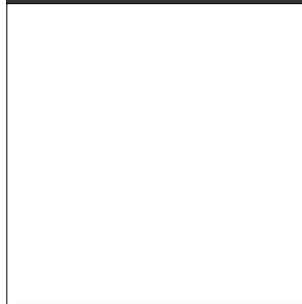
EXPOSED
AGGREGATE
70% BLACK
30% WHITE



- GARAGE DOOR

- DRIVEWAY

BUILDERS WHITE



- EAVES LINING

CONCRETE LETTER
BOX



- LETTER BOX

MERBAU STAINED
FINISH



- FEATURE TIMBER CLADDING
- ENTRY DOOR

MERBAU TIMBER

SCHEDULE OF MATERIALS & FINISHES

NOTES:

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DP-AD 68552

SHEET CONTENT:	
SCHEDULE OF MATERIALS	
PROPERTY ADDRESS: LOT 253 SIMMENTAL ROAD, MASON QUARTER, WOLLERT, VIC. 3750	
CLIENT: XXXX	
WORKING DRAWING	

SCALE:	1:50	SHEET NUMBER:	9 OF 9	JOB NUMBER:	0001
DATE:	23.11.23	DRAWN:	XX		
REVISIONS	ISSUE:	DATE:	DETAILS:	INITIALS:	
	D	29.11.23	WORKING DRAWING REV 3	XX	
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